NORTHERN KENTUKKY UNIVERSITY NORSE HALL FACADE REPAIRS AND RECLADDING NKU-29-2021 PREPARED BY: **GENERAL NOTES**

VICINITY MAP:



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DRAWING INDEX:

001 TITLE SHEET

- 101 GROUND FLOOR KEY PLAN 102 SECOND & THIRD FLOOR KEY PLAN
- 201 BUILDING 4 ELEVATIONS
- 202 BUILDING 5 ELEVATIONS
- 203 BUILDING 6 ELEVATIONS
- 204 BUILDING 7 ELEVATIONS 205 BREEZEWAYS 1, 2, & 3 SECTIONS
- 206 BREEZEWAY 4 SECTIONS 207 BREEZEWAYS 5 & 6 SECTIONS
- 301 REPAIR DETAILS
- 401 RECLADDING DETAILS

A. CODE SUMMARY

- ALL WORK SHALL CONFORM TO THE CURRENT COMMONWEALTH OF KENTUCKY BUILDING CODE AND ALL LOCAL REQUIREMENTS ADOPTED BY THE CITY OF HIGHLAND HEIGHTS.
- a. OCCUPANCY: R-2, APARTMENT BUILDING
- CONSTRUCTION TYPE: 5A WOOD FRAMED BUILDING IS FULLY SPRINKLERED WITH FIRE ALARM PULL STATIONS IN THE BREEZEWAYS. BUILDING AREA: 69,721 GSF; 49,302 ASF; DIVIDED INTO THREE SECTIONS W/ 2 FIREWALLS
- e. HEIGHT: 3-STORIES, TOTAL HEIGHT OF 35'-0" (78) 2-BEDROOM UNITS AT 800 SF; (12) EFFICIENCY UNITS AT 300 SF
- g. EGRESS: 12 POINTS OF EGRESS, ARRANGED IN PAIRS TO PROVIDE 2 MEANS OF EGRESS FOR EACH UNIT.
- MAXIMUM OCCUPANT LOAD PER FLOOR PER PAIR OF EGRESS = 24 AT 200 SF PER PERSON. STAIR WIDTH: 44", TYPICAL.
- h. PROJECT SCOPE: REPAIR AND REPLACE DETERIORATED BUILDING ELEMENTS. NO AREA IS ADDED TO THE BUILDING. NO CHANGES ARE MADE TO THE CONFIGURATION OF BUILDING EGRESS COMPONENTS. WIND LOADS: DESIGN WIND SPEED: Vult = 120 MPH; Vasd = 93 MPH
- RISK CATEGORY: III
- WIND EXPOSURE: B EXTERIOR WALL WIND LOADS: ULTIMATE STRENGTH DESIGN, FACTORED LOADS PSF (ult): EFFECTIVE WIND AREA: WALL, TYPICAL AREAS WALL, WITHIN 5.3 FT OF CORNERS -36.0 -30.3 -27.9
- 2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH ALL APPLICABLE CITY, COUNTY, STATE, AND FEDERAL LAWS INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) AND REGULATIONS ADOPTED PURSUANT THERETO.

B. DOCUMENTS

- 1. A SEPARATE BOUND PROJECT MANUAL DATED MARCH 2021 EXISTS AND IS PART OF THE CONTRACT DOCUMENTS. GENERAL CONDITIONS, TECHNICAL INFORMATION, AND REQUIREMENTS ARE INCLUDED IN THE PROJECT MANUAL. CLEARLY ORGANIZED AND DESCRIBED IN SECTION CONSISTENT WITH NORMALLY ACCEPTED CONSTRUCTION SPECIFICATION INSTITUTE FORMATS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIREMENTS LISTED IN THE PROJECT MANUAL, BUT NOT NECESSARILY INCLUDED IN THE DRAWINGS.
- 2. ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE, UNLESS NOTED OTHERWISE.
- 3. ALL DIMENSIONS SHOWN ARE APPROXIMATE AND NEED TO BE FIELD VERIFIED.
- 4. CONTRACTOR SHALL PROMPTLY REPORT ANY VARIATIONS BETWEEN EXISTING AS BUILT CONDITIONS AND DIMENSIONS, AND THOSE INDICATED ON THE DRAWINGS, TO THE ARCHITECT/ENGINEER.
- 5. THE EXTENT, LOCATION, AND QUANTITY OF REPAIRS MAY VARY FROM THE WORK PROVIDED IN THE DRAWINGS AND SPECIFICATIONS. CONTRACTOR TO COORDINATE WITH THE ARCHITECT/ENGINEER FOR THE ACTUAL LOCATION AND EXTENT OF REPAIRS THROUGHOUT CONSTRUCTION.

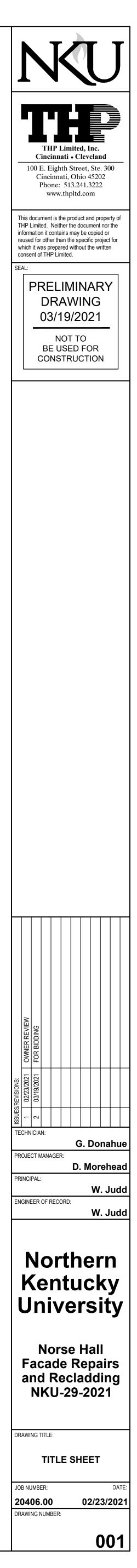
C. COORDINATION AND CONSTRUCTION

- 1. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, RIGGING, PLATFORMS, AND EQUIPMENT FOR SUCCESSFUL COMPLETION OF THIS PROJECT.
- 2. CONTRACTOR SHALL APPLY, SECURE, AND PAY FOR ALL REQUIRED LOCAL PERMITS, FEES, LICENSES, AND APPROVAL FOR COMPLETION OF THE WORK.
- 3. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS AT THE SITE PRIOR TO SUBMITTING SHOP DRAWINGS AND FABRICATING ANY WORK. IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER
- 4. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES.
- 5. NEW CONSTRUCTION WORK SHALL ALIGN WITH AND MATCH EXISTING CONSTRUCTION WORK EXCEPT WHERE OTHERWISE DIMENSIONED OR DETAILED.
- ANY ADJACENT, EXISTING FINISHES, AND/OR EQUIPMENT DAMAGED DURING DEMOLITION OR CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
- 7. CONTRACTOR WILL COORDINATE ALL CONSTRUCTION ACTIVITIES, SCHEDULE, AND PHASING WITH THE OWNER AND THE ARCHITECT/ENGINEER.
- 8. CONTRACTOR SHALL FURNISH THE OWNER AND ARCHITECT/ENGINEER ACCESS TO ALL WORK AREAS DURING NORMAL WORKING HOURS AND WHEN WORK IS BEING PERFORMED.
- 9. CONTRACTOR SHALL DISPOSE OF ALL DEBRIS OFF SITE IN A LAWFUL MANNER. D. WORK AREA RESTRICTIONS
- 1. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- 2. CONSTRUCTION ACTIVITIES WILL NEED TO BE COORDINATED WITH THE OWNER. 3. CONSTRUCTION FENCING (CHAIN LINK FENCE WITH WIND SCREEN) IS REQUIRED AROUND EXTERIOR WORK AREAS AND LAYDOWN AREAS.
- 4. CONTRACTOR SHALL PROVIDE ALL SIGNAGE REQUIRED TO CLEARLY ESTABLISH THE WORK AREAS AS RESTRICTED AND OFF LIMITS TO THE PUBLIC. ALL SIGNS SHALL BE PROFESSIONALLY PREPARED AND REVIEWED IN ADVANCE BY THE OWNER. ALL SIGNAGE SHALL BE NON-GENDER SPECIFIC.
- 5. CONTRACTOR SHALL PROVIDE ALL SIGNAGE AND ADDITIONAL TRAFFIC CONTROL METHODS TO SAFELY REROUTE PEDESTRIAN TRAFFIC AROUND WORK AREAS.
- 6. CONTRACTOR SHALL PROVIDE DUST AND DEBRIS CONTROL MEASURES TO ENSURE ALL DUST AND DEBRIS GENERATED BY THE WORK REMAINS WITHIN THE WORK AREA AND DOES NOT POSE HAZARDOUS OR OBJECTIONABLE CONDITIONS FOR THE GENERAL PUBLIC.
- 7. CONTRACTOR SHALL PROVIDE TEMPORARY WEATHER PROTECTION TO PREVENT WATER ENTRY INTO THE BUILDING AND TO MAINTAIN THE BUILDING IN A WEATHER TIGHT CONDITION. ENSURE THAT PROTECTION IS IN PLACE AND WATER TIGHT BEFORE THE END OF EACH DAY'S WORK. DURING THE WORK, THE CONTRACTOR SHALL BE PREPARED FOR UNEXPECTED WEATHER CHANGES, SO THAT TEMPORARY PROTECTION CAN BE QUICKLY INSTALLED.
- 8. THE CONTRACTOR SHALL MAINTAIN A CLEAN AND ORDERLY SITE AND STORAGE AREA.

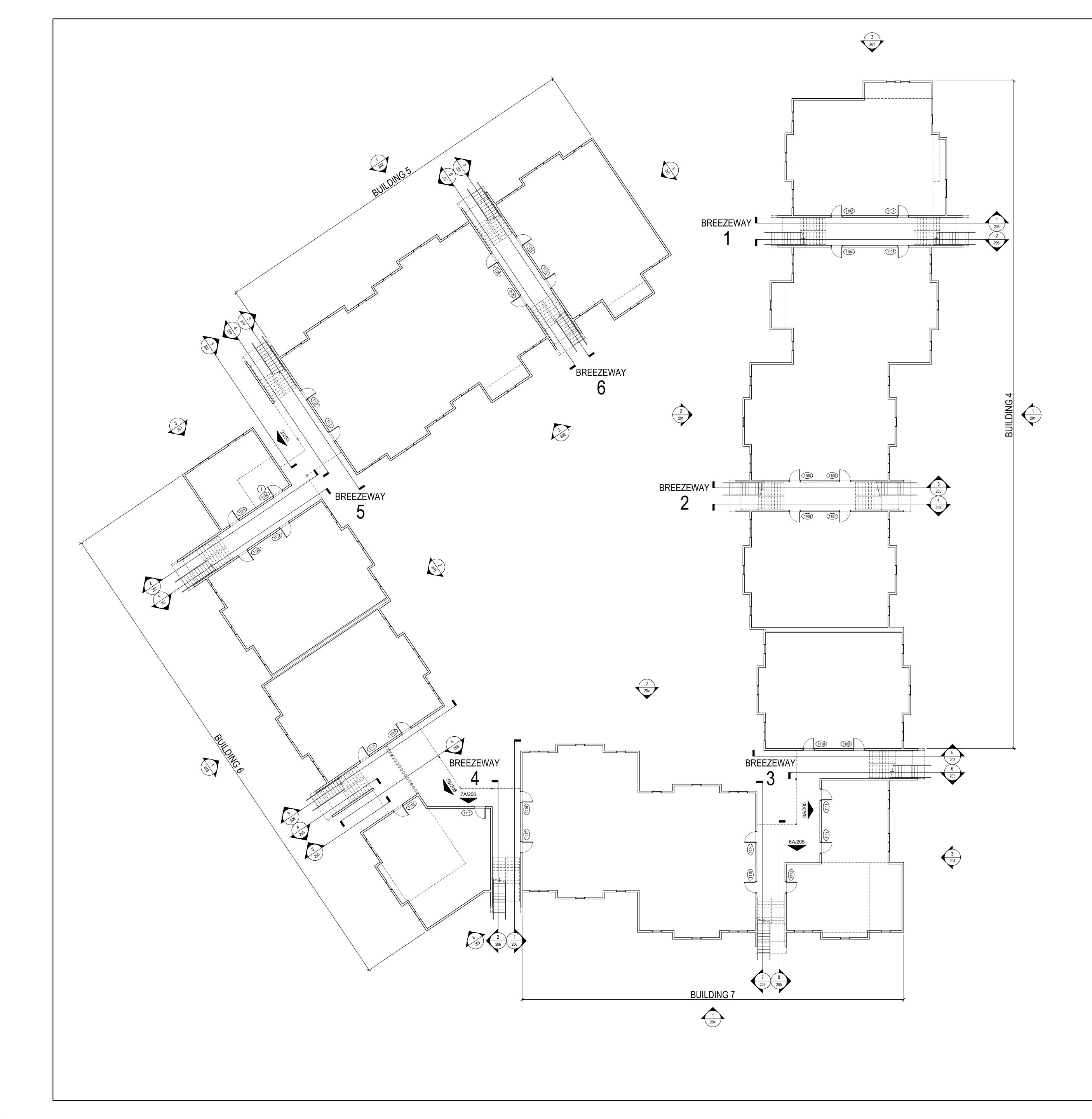
- E. EXISTING CONDITIONS PROTECTION REQUIREMENTS
 - STAGING AREAS AND ALL ADJACENT BUILDING AND LANDSCAPE FEATURES WHICH COULD BE AFFECTED BY THE WORK. REPAIR AREAS ARE INDICATED ON THE DRAWINGS.
 - b. ITEMS THAT COULD AFFECT ADJACENT BUILDING AND LANDSCAPE FEATURES SHALL INCLUDE, BUT NOT

ARFAS.

- LIMITED TO, RIGGING OR EQUIPMENT ACCESS, FALLING DEBRIS, BLOWING DEBRIS, AND FUMES. c. EXAMPLES OF ADJACENT BUILDING AND LANDSCAPE FEATURES SHALL INCLUDE, BUT NOT LIMITED TO, ADJACENT FACADE ELEVATIONS, ALL AREAS BELOW THE WORK EITHER ROOF OR GRADE, AND STAGING
- 2. CONTRACTOR IS RESPONSIBLE FOR THE SITE ONCE MOBILIZATION HAS BEGUN THROUGH THE COMPLETION OF WORK. EXAMPLES OF MOBILIZATION SHALL INCLUDE, BUT NOT LIMITED TO, ERECTION OF TEMPORARY PROTECTION, ERECTION OF RIGGING, AND STAGING MATERIALS. WORK IS COMPLETE AFTER ALL REPAIRS ARE COMPLETE, WORK AREA IS CLEANED TO ORIGINAL CONDITION, AND OWNER IS NOTIFIED. DAMAGE CAUSED BY WORK OR LACK OF PROPER PROTECTION IS TO BE REPAIRED PER OWNERS DIRECTION AT
- CONTRACTORS EXPENSE. 3. PROVIDE TEMPORARY PROTECTION OF SITE DURING THE COURSE OF ALL PHASES OF WORK.
- PRIOR TO THE START OF WORK. COMPLETE ALL PRE-CONSTRUCTION SURVEYS AND DOCUMENTATION OF SITE. COORDINATE WITH OWNER SPECIFIC SITE REQUIREMENTS PRIOR TO THE START OF WORK. REFER TO ADDITIONAL REQUIREMENTS BELOW FOR SPECIFIC BUILDING ELEMENTS.
- a. PRIOR TO THE START OF WORK, COORDINATE WITH OWNER ALL SPECIFIC SITE REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, PROTECTION, SCHEDULING, AND PHASING.
- b. PRIOR TO THE START OF WORK, COMPLETE A SURVEY OF THE SITE (VIDEO OR DIGITAL PHOTOS). REPORT TO OWNER DAMAGED BUILDING ELEMENTS NOT BEING REPAIRED.
- c. MOBILIZATION IS CONSIDERED ACCEPTANCE OF THE SITE REGARDLESS OF FAILURE TO SUBMIT DOCUMENTATION OF EXISTING CONDITION.
- d. PRIOR TO THE START OF WORK, SURVEY ALL OPENINGS AND DOCUMENT DAMAGED ITEMS.
- EXAMPLES OF DAMAGED GLAZING SHALL INCLUDE, BUT IS NOT LIMITED TO, CRACKED OR FOGGED GLAZING.
- EXAMPLES OF DAMAGED FRAMES SHALL INCLUDE, BUT IS NOT LIMITED TO, DENTED OR SCRATCHED
- EXAMPLES OF DAMAGED HARDWARE SHALL INCLUDE, BUT IS NOT LIMITED TO, NON-OPERATING OF SYSTEM
- EXAMPLES OF DAMAGED SEALANTS SHALL INCLUDE, BUT IS NOT LIMITED TO, RIPPED OR TORN SEALANT.
- e. PROTECT OPENINGS DURING ALL PHASES OF WORK.
- f. DAMAGE NOT EVIDENT IN DOCUMENTATION OR DAMAGE DURING THE COURSE OF WORK TO BE REPAIRED PER OWNER'S DIRECTION AT CONTRACTORS EXPENSE.
- g. DURING PERFORMANCE OF WORK, COORDINATE WITH THE OWNER TO SHUTDOWN AIR-INTAKE EQUIPMENT IN THE AREA WHERE WORK IS BEING PERFORMED TO PREVENT DUST AND DEBRIS FROM ENTERING AIR-HANDLING EQUIPMENT AND/OR INTO THE BUILDING INTERIOR.
- F. SAFETY
- PROJECT SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE PATRONS, STAFF, GENERAL PUBLIC, WORKMEN, AND STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, BARRICADES, OVERHEAD PROTECTION, BRACING, SHORING FOR CONSTRUCTION EQUIPMENT, SCAFFOLDING, PLANKING, SAFETY NETS, SUPPORT, AND BRACING FOR CRANES.
- 2. CONTRACTOR, AT HIS OWN EXPENSE, SHALL ENGAGE PROPERLY QUALIFIED PERSONS TO DETERMINE WHERE AND HOW TEMPORARY PRECAUTIONARY MEASURES SHALL BE USED AND INSPECT THE SAME IN THE FIELD. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVE OF ARCHITECT/ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.
- 3. THE DUTY OF THE ARCHITECT/ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF ADEQUACY OF CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR THE CONSTRUCTION SITE.



"SITE" IS DEFINED AS THE CURRENT REPAIR AREAS (FACADE ELEVATION) IN WHICH WORK IS OCCURRING PLUS



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LEGEND:

NEW METAL DOOR AND FRAME DESIGNATION (UNIT NUMBER). DOOR OPENINGS ARE 3'-0" X 6'-8" (±VIF), TYP.

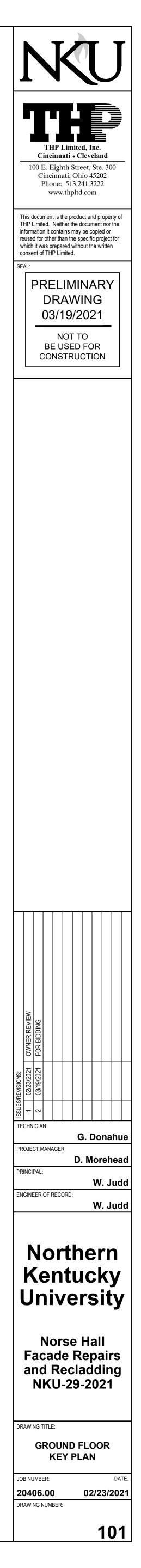
DRAWING NOTES:

- A. REFER TO SHEET 001 FOR GENERAL NOTES.
- B. ALL DIMENSIONS INDICATED ON DRAWINGS ARE FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
- C. PROVIDE PROFESSIONAL SIGNAGE AND BARRICADES TO CLOSE AND PROTECT WORK AREAS TO PEDESTRIAN TRAFFIC. SIGNAGE SHALL INCLUDE DIRECTIONS TO ROUTE TRAFFIC AROUND WORK AREA.
- D. PROVIDE DUST AND DEBRIS CONTROL MEASURES TO ENSURE ALL DUST AND DEBRIS GENERATED BY WORK REMAINS WITHIN WORK AREA, DOES NOT BECOME AIRBORNE, AND DOES NOT POSE HAZARDOUS OR OBJECTIONABLE CONDITIONS FOR PATRONS AND GENERAL PUBLIC.
- E. CONTRACTOR TO NOTIFY OWNER IF HAZARDOUS MATERIALS ARE ENCOUNTERED. REMOVAL OF ALL HAZARDOUS ITEMS MUST BE COORDINATED WITH OWNER.
- F. CONTRACTOR TO CLEAN UP ENTIRE WORK AREA AT THE COMPLETION OF THE PROJECT.

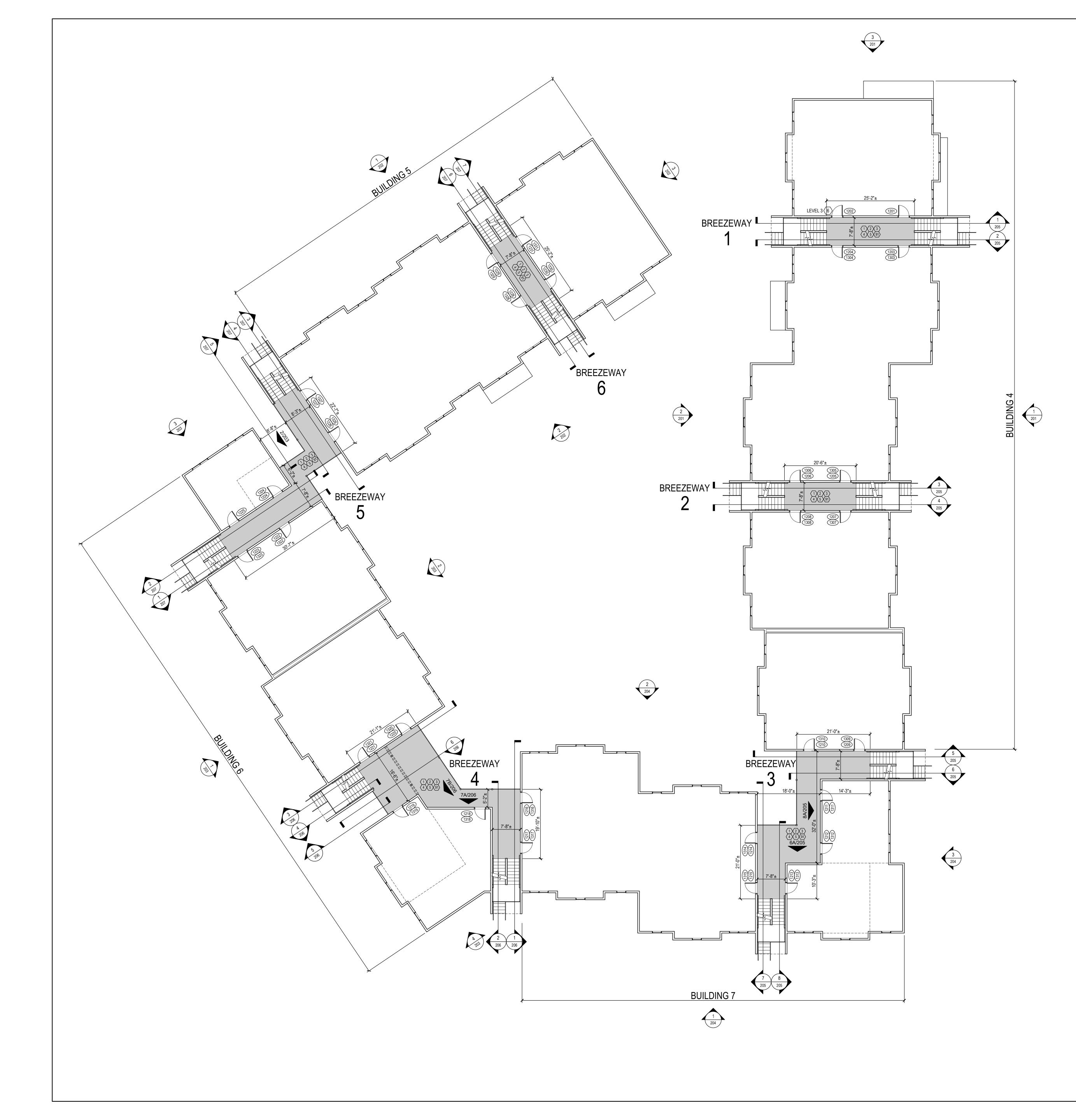
KEY NOTES:

- 1. NEW DOOR TO MATCH EXISTING HALF GLASS LITE DOOR (ONE LOCATION AT DIRECTOR'S OFFICE).
- Image: Norse Hall, Overall Ground Floor

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LEGEND:

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NEW METAL DOOR AND FRAME DESIGNATION (UNIT NUMBER) DOOR OPENINGS ARE 3'-0" X 6'-8" (\pm VIF), TYP.

AREA OF NEW PEDESTRIAN TRAFFIC MEMBRANE SYSTEM

DRAWING NOTES:

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- C. PROVIDE PROFESSIONAL SIGNAGE AND BARRICADES TO CLOSE AND PROTECT WORK AREAS TO PEDESTRIAN TRAFFIC. SIGNAGE SHALL INCLUDE DIRECTIONS TO ROUTE TRAFFIC AROUND WORK AREA.
- D. PROVIDE DUST AND DEBRIS CONTROL MEASURES TO ENSURE ALL DUST AND DEBRIS GENERATED BY WORK REMAINS WITHIN WORK AREA, DOES NOT BECOME AIRBORNE, AND DOES NOT POSE HAZARDOUS OR OBJECTIONABLE CONDITIONS FOR PATRONS AND GENERAL PUBLIC.
- E. CONTRACTOR TO NOTIFY OWNER IF HAZARDOUS MATERIALS ARE ENCOUNTERED. REMOVAL OF ALL HAZARDOUS ITEMS MUST BE COORDINATED WITH OWNER.
- F. CONTRACTOR TO CLEAN UP ENTIRE WORK AREA AT THE COMPLETION OF THE PROJECT.

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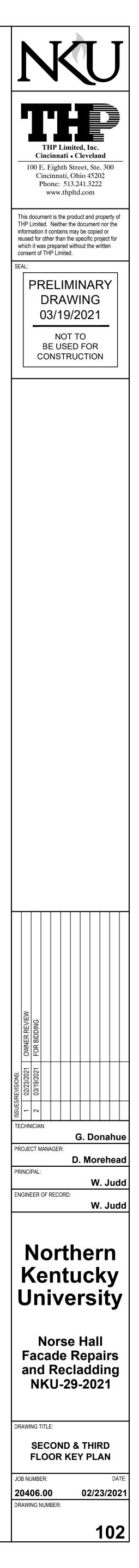
- 1. EXISTING STRUCTURED LEVEL BREEZEWAY OR BALCONY. DO NOT DAMAGE EXISTING SOFFIT SYSTEM TO REMAIN BENEATH ELEVATED STRUCTURE.
- EXISTING STRUCTURED FLOOR SLAB. INSTALL A NEW PEDESTRIAN TRAFFIC MEMBRANE SYSTEM WITH VAPOR BARRIER. REFER TO DETAILS 8-10/301 AND SPECIFICATION SECTION 071800.
 AS PART OF MEMBRANE WORK CONTRACTOR TO SURVEY MEMBRANE AREA AND ROUT AND SEAL
- CRACKS. REFER TO DETAIL 9/301 AND SPECIFICATION SECTION 079200.
- 4. SLAB PEDESTRIAN TRAFFIC MEMBRANE SYSTEM TO TERMINATE 1 1/2" ABOVE THE COVE SEALANT AT VERTICAL SURFACES. REFER TO DETAIL 10/301.
- AT EXISTING CHANNELS AT THE SLAB EDGE, INSTALL COVE SEALANT (IF NOT PRESENT) BETWEEN CHANNEL AND CONCRETE. PEDESTRIAN TRAFFIC MEMBRANE SYSTEM TO TERMINATE ON COVE INSTALLED ON EXTERIOR CHANNEL. REFER TO DETAIL 7/301 AND SPECIFICATION SECTION 079200.
 EXISTING DATA ROOM DOOR, FRAME, AND HARDWARE TO REMAIN.
- 91. ALTERNATE 1: AT BREEZEWAY LEVEL 3 CEILINGS, REMOVE AND SPOT PRIME ALL AREAS OF LOOSE OR PEELING PAINT AND RECOAT ENTIRE CEILING, INCLUDING GYPSUM BOARD, WOOD BEAMS, AND WOOD TRIM. REFER TO SPECIFICATION SECTION 099100.

 1
 NORSE HALL, OVERAL

 1
 KEY PLAN

 102
 3/32" = 1'-0"

NORSE HALL, OVERALL SECOND & THIRD FLOOR







- A. REFER TO SHEET 001 FOR GENERAL NOTES.
- B. ALL DIMENSIONS INDICATED ON DRAWINGS ARE FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
- C. RETURN WALLS AT BUILDING OFFSETS MAY NOT BE SHOWN IN ELEVATIONS AT ALL LOCATIONS, ELEVATIONS, OR IN THEIR ENTIRETY. REFER TO SHEETS 101 & 102 FOR KEY PLAN TO CONFIRM DEPTH OF RETURNS. ALL RETURN WALLS AND GABLE END WALLS SHALL BE INCLUDED IN SCOPE OF THIS WORK.
- D. DRAWINGS DO NOT REFLECT ALL EQUIPMENT, VALVES, FIRE ALARM PULLS, WALL PLATES, JUNCTION BOXES, SIGNAGE, DEVICES, FIXTURES, ETC. PRESENT AT EXTERIOR WALLS.
- E. ALL NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR LOCATIONS ELSEWHERE.

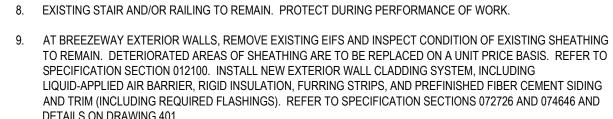
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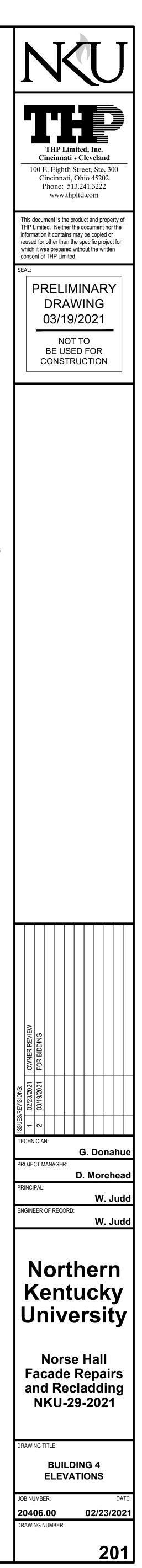
- 1. KNOWN LOCATION OF EIFS LAMINA REPAIR AT AREAS OF EXPOSED BASE COAT OR EXPOSED REINFORCING MESH. REPAIRS TO BE PERFORMED ON A UNIT PRICE BASIS. REFER TO SPECIFICATION SECTIONS 012200 AND 072400 AND DETAIL 1/301.
- 2. KNOWN LOCATION OF EIFS CRACK REPAIR. RE-ANCHOR INSULATION BOARD PER DETAIL 2/301 AND REPAIR LAMINA PER DETAIL 1/301. REPAIRS TO BE PERFORMED ON A UNIT PRICE BASIS. REFER TO SPECIFICATION SECTIONS 012200 AND 072400.
- REFER TO SPECIFICATION SECTIONS 012200 AND 072400 AND DETAILS 3/301 AND 4/301.
- 4. EXISTING EXTERIOR INSULATION AND FINISH SYSTEM TO REMAIN. AFTER COMPLETION OF EIFS REPAIRS, CLEAN, PREPARE, AND RECOAT EIFS SURFACE. REFER TO SPECIFICATION SECTIONS 072400 AND 099101.
- 5. AT ISOLATED LOCATIONS WITHIN EIFS WHERE CONTROL JOINT SEALANT HAS DISBONDED, REMOVE AND REPLACE BACKER ROD AND SEALANT. REPAIRS TO BE PERFORMED ON A UNIT PRICE BASIS. REFER TO SPECIFICATION SECTIONS 012100 AND 079201 AND DETAIL 5/301.
- 6. REMOVE AND REINSTALL ALL EXISTING DOWNSPOUTS AS REQUIRED FOR EIFS REPAIRS, CLEANING, AND RE-COATING.
- 7. EXISTING ELECTRICAL, PHONE, OR CABLE PANEL TO REMAIN. PROVIDE NEW FIBER CEMENT TRIM. REFER TO SIMILAR DETAILS 4/401 & 5/401 AND SPECIFICATION SECTION 074646.
- 9. AT BREEZEWAY EXTERIOR WALLS, REMOVE EXISTING EIFS AND INSPECT CONDITION OF EXISTING SHEATHING TO REMAIN. DETERIORATED AREAS OF SHEATHING ARE TO BE REPLACED ON A UNIT PRICE BASIS. REFER TO SPECIFICATION SECTION 012100. INSTALL NEW EXTERIOR WALL CLADDING SYSTEM, INCLUDING LIQUID-APPLIED AIR BARRIER, RIGID INSULATION, FURRING STRIPS, AND PREFINISHED FIBER CEMENT SIDING AND TRIM (INCLUDING REQUIRED FLASHINGS). REFER TO SPECIFICATION SECTIONS 072726 AND 074646 AND DETAILS ON DRAWING 401.
- 10. DETACH RAILING AS REQUIRED TO ALLOW INSTALLATION OF NEW SIDING. PROVIDE BLOCKING AND TRIM AT RAILING ATTACHMENT POINTS SIMILAR TO DETAIL 14/401.
- 11. REMOVE AND REPLACE EXISTING METAL DOOR AND FRAME. REFER TO SPECIFICATION SECTION 081100. PREPARE AND PAINT NEW DOOR AND FRAME PER SPECIFICATION SECTION 099101.
- 91. ALTERNATE 1: AT BREEZEWAY LEVEL 3 CEILINGS, REMOVE AND SPOT PRIME ALL AREAS OF LOOSE OR PEELING PAINT AND RECOAT ENTIRE CEILING, INCLUDING GYPSUM BOARD, WOOD BEAMS, AND WOOD TRIM. REFER TO
- SPECIFICATION SECTION 099100. 92. ALTERNATE 2: EXISTING ALUMINUM WINDOWS TO REMAIN. CLEAN, PREPARE, AND PAINT FRAMES. REFER TO

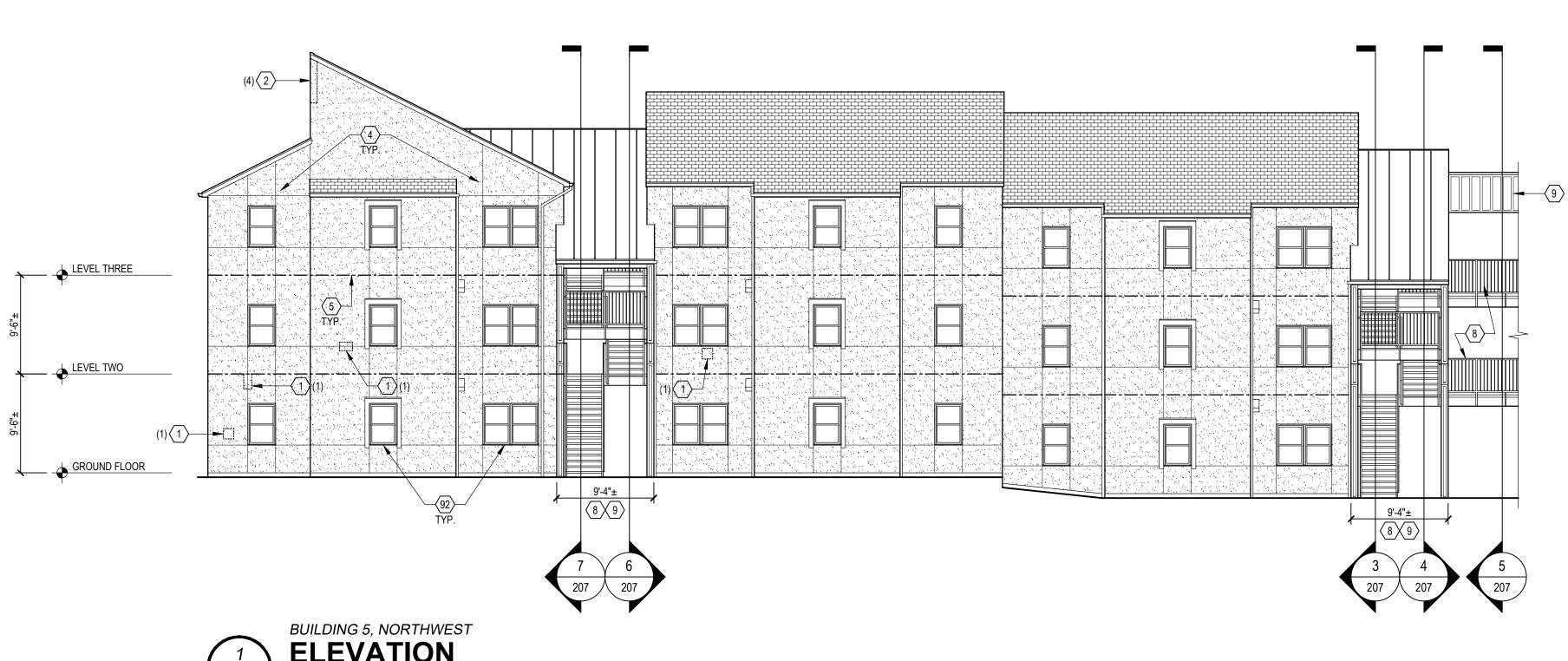
SPECIFICATION SECTION 099101.

LEGEND:	
(X)	KEY NOTE – UNIT COST QUANTITY ESTIMATE OR NOTE DESCRIPTOR
	EXISTING ASPHALT SHINGLES TO REMAIN - NO WORK
	EXISTING STANDING SEAM METAL ROOF TO REMAIN - NO WORK
	EIFS TO REMAIN $\overline{4}$
	EIFS V-REVEAL
	EIFS CONTROL JOINT $\overline{5}$
	DOWNSPOUT $\left< \frac{6}{6} \right>$
	FIBER CEMENT SIDING $\langle 9 \rangle$
#	METAL DOOR AND FRAME DESIGNATION (11)
	ALUMINUM DOUBLE-HUNG WINDOW (92)

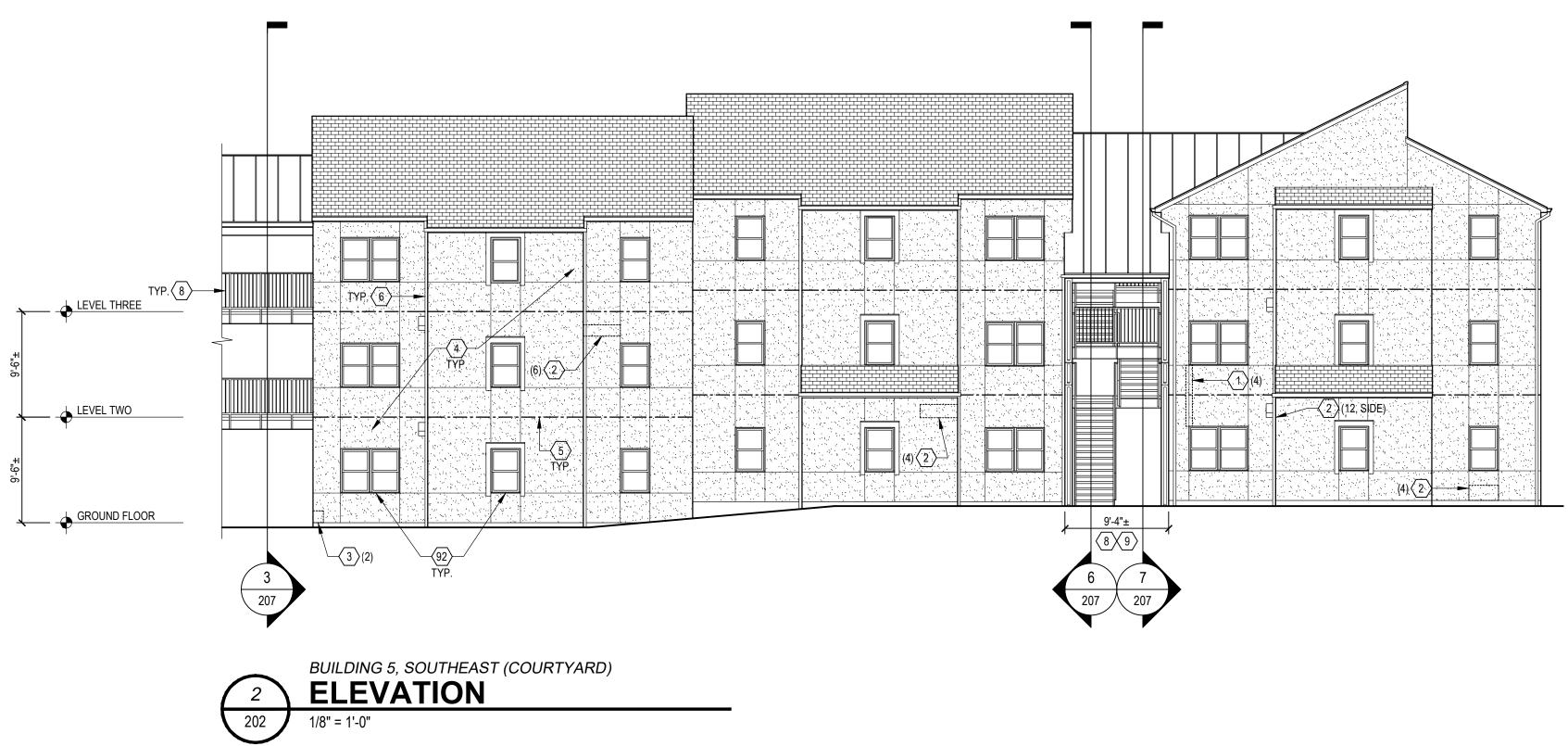
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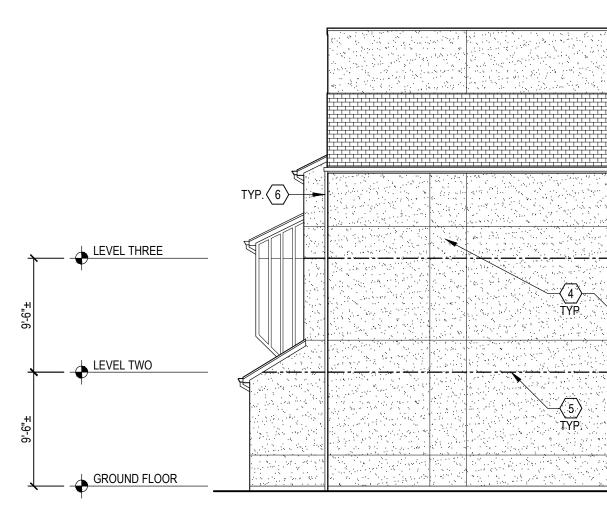


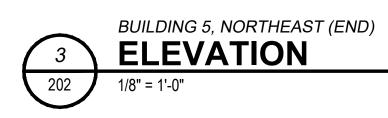












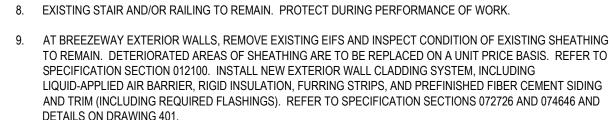
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- D. DRAWINGS DO NOT REFLECT ALL EQUIPMENT, VALVES, FIRE ALARM PULLS, WALL PLATES, JUNCTION BOXES, SIGNAGE, DEVICES, FIXTURES, ETC. PRESENT AT EXTERIOR WALLS.
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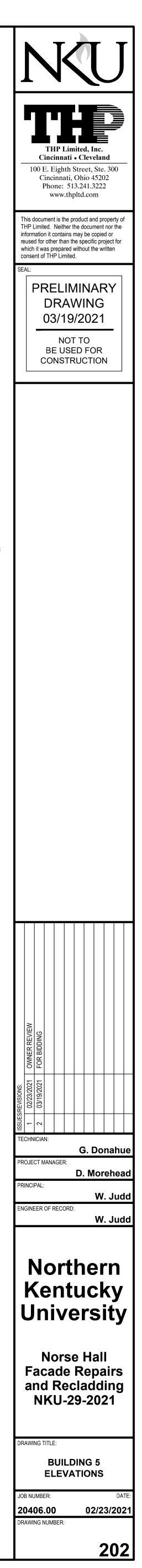
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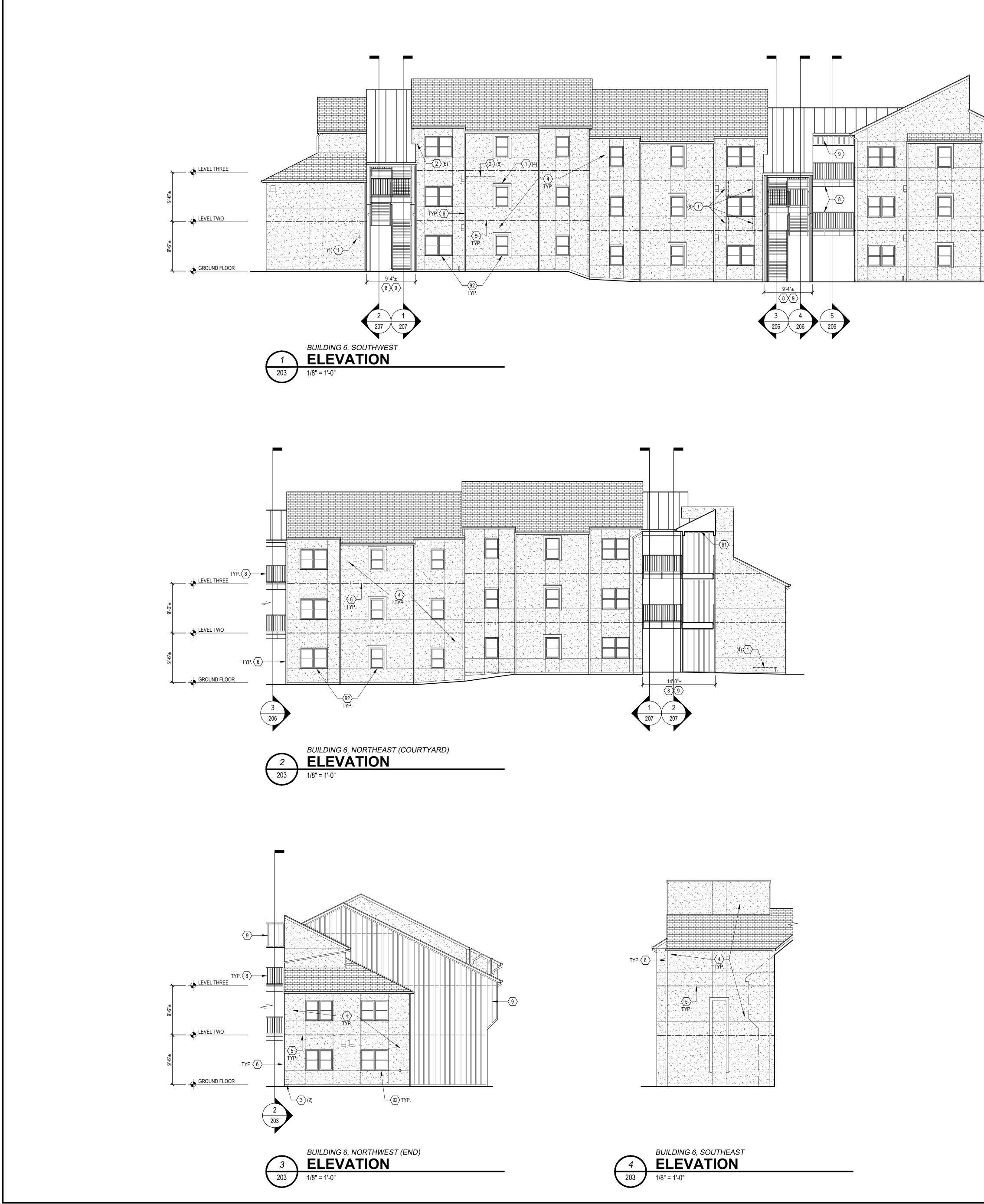
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- 2. KNOWN LOCATION OF EIFS CRACK REPAIR. RE-ANCHOR INSULATION BOARD PER DETAIL 2/301 AND REPAIR LAMINA PER DETAIL 1/301. REPAIRS TO BE PERFORMED ON A UNIT PRICE BASIS. REFER TO SPECIFICATION SECTIONS 012200 AND 072400.
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- 11. REMOVE AND REPLACE EXISTING METAL DOOR AND FRAME. REFER TO SPECIFICATION SECTION 081100.
- PREPARE AND PAINT NEW DOOR AND FRAME PER SPECIFICATION SECTION 099101. 91. ALTERNATE 1: AT BREEZEWAY LEVEL 3 CEILINGS, REMOVE AND SPOT PRIME ALL AREAS OF LOOSE OR PEELING
- PAINT AND RECOAT ENTIRE CEILING, INCLUDING GYPSUM BOARD, WOOD BEAMS, AND WOOD TRIM. REFER TO SPECIFICATION SECTION 099100.
- 92. ALTERNATE 2: EXISTING ALUMINUM WINDOWS TO REMAIN. CLEAN, PREPARE, AND PAINT FRAMES. REFER TO SPECIFICATION SECTION 099101.

LEGEND

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#	METAL DOOR AND FRAME DESIGNATION (11)
	ALUMINUM DOUBLE-HUNG WINDOW (92)







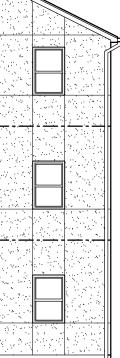
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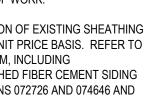
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- 5. AT ISOLATED LOCATIONS WITHIN EIFS WHERE CONTROL JOINT SEALANT HAS DISBONDED, REMOVE AND REPLACE BACKER ROD AND SEALANT. REPAIRS TO BE PERFORMED ON A UNIT PRICE BASIS. REFER TO SPECIFICATION SECTIONS 012100 AND 079201 AND DETAIL 5/301.
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- 9. AT BREEZEWAY EXTERIOR WALLS, REMOVE EXISTING EIFS AND INSPECT CONDITION OF EXISTING SHEATHING TO REMAIN. DETERIORATED AREAS OF SHEATHING ARE TO BE REPLACED ON A UNIT PRICE BASIS. REFER TO SPECIFICATION SECTION 012100. INSTALL NEW EXTERIOR WALL CLADDING SYSTEM, INCLUDING LIQUID-APPLIED AIR BARRIER, RIGID INSULATION, FURRING STRIPS, AND PREFINISHED FIBER CEMENT SIDING AND TRIM (INCLUDING REQUIRED FLASHINGS). REFER TO SPECIFICATION SECTIONS 072726 AND 074646 AND DETAILS ON DRAWING 401.
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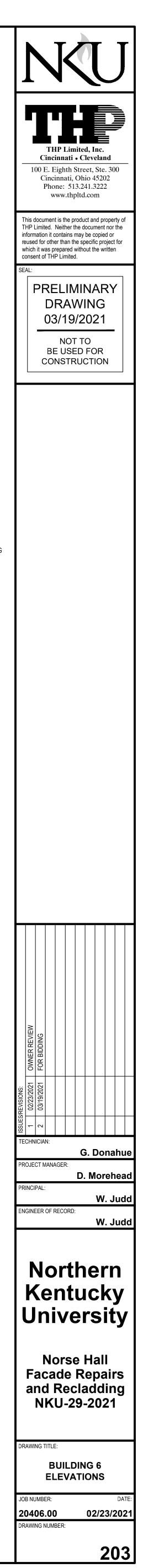
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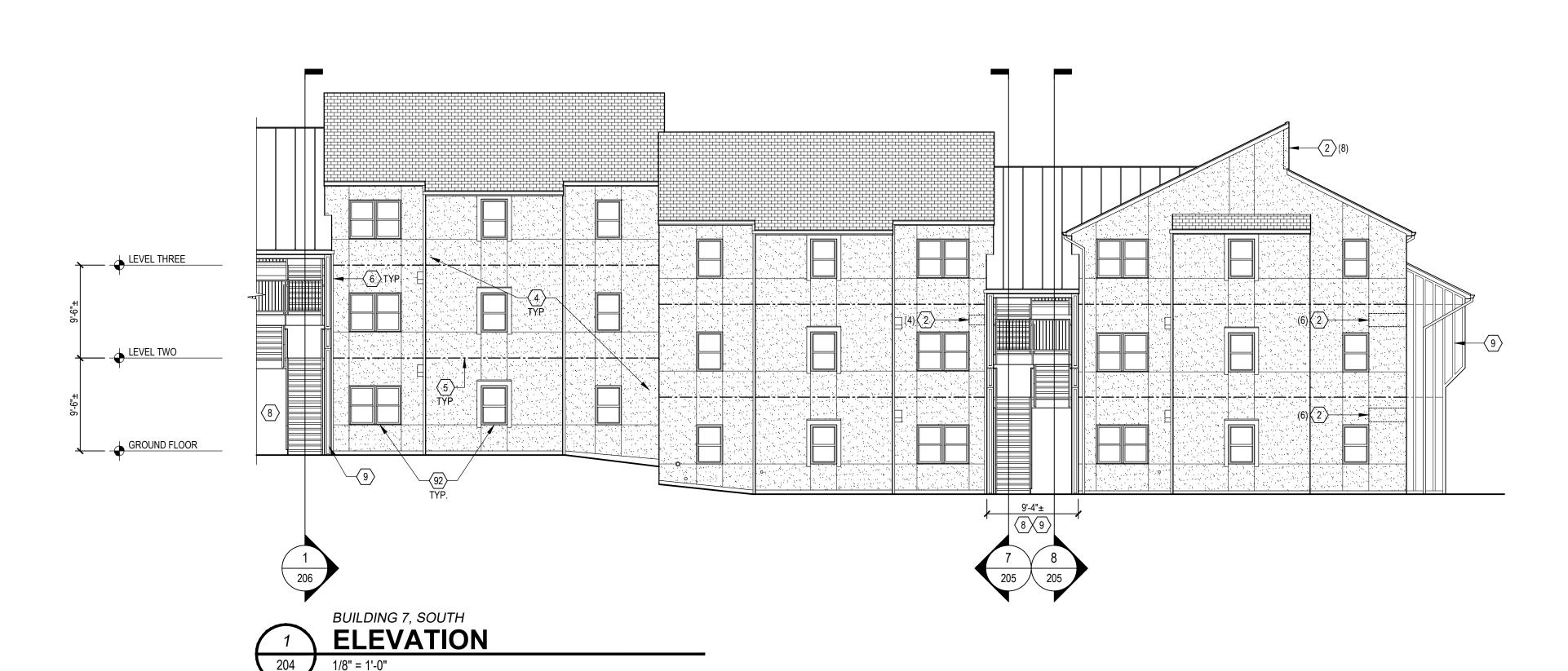
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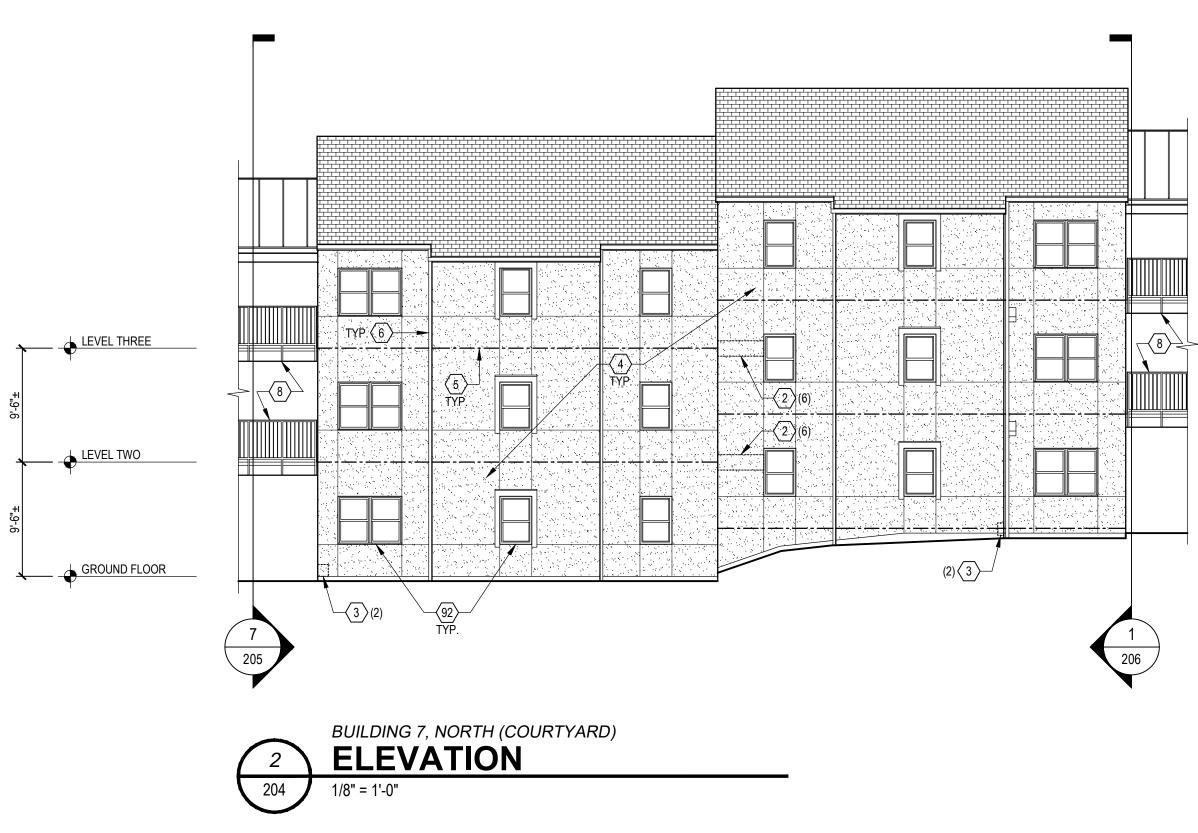


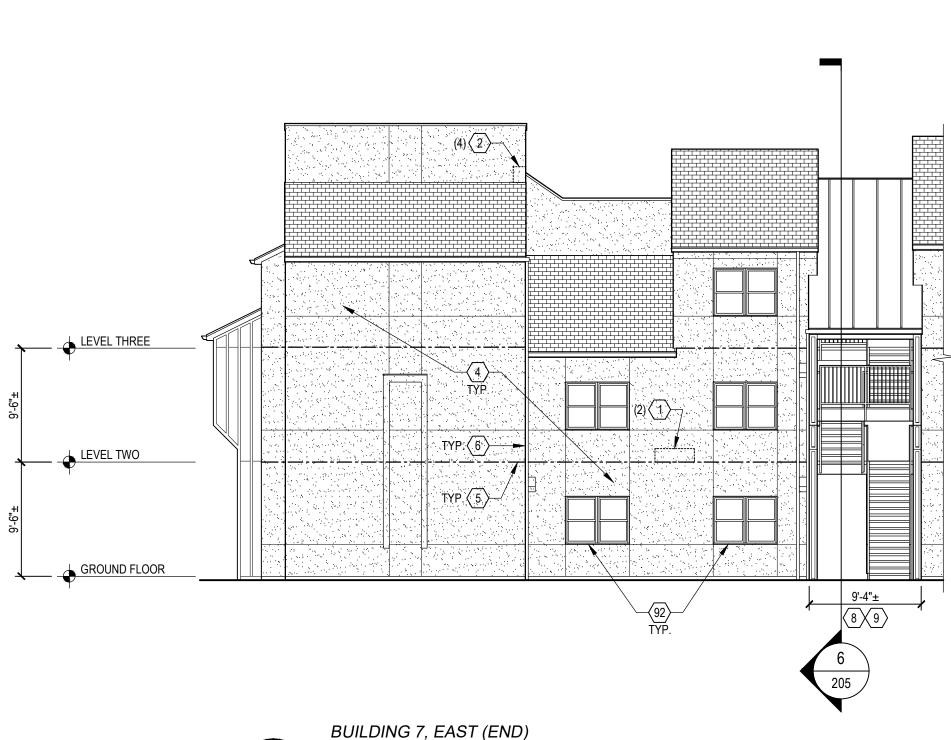
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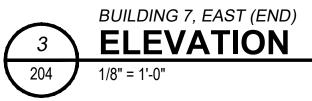












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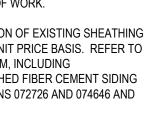
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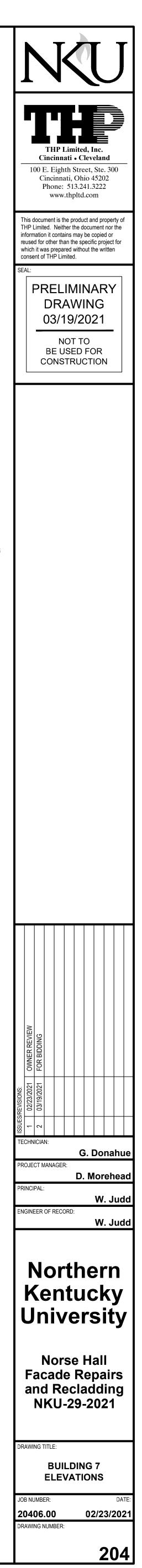
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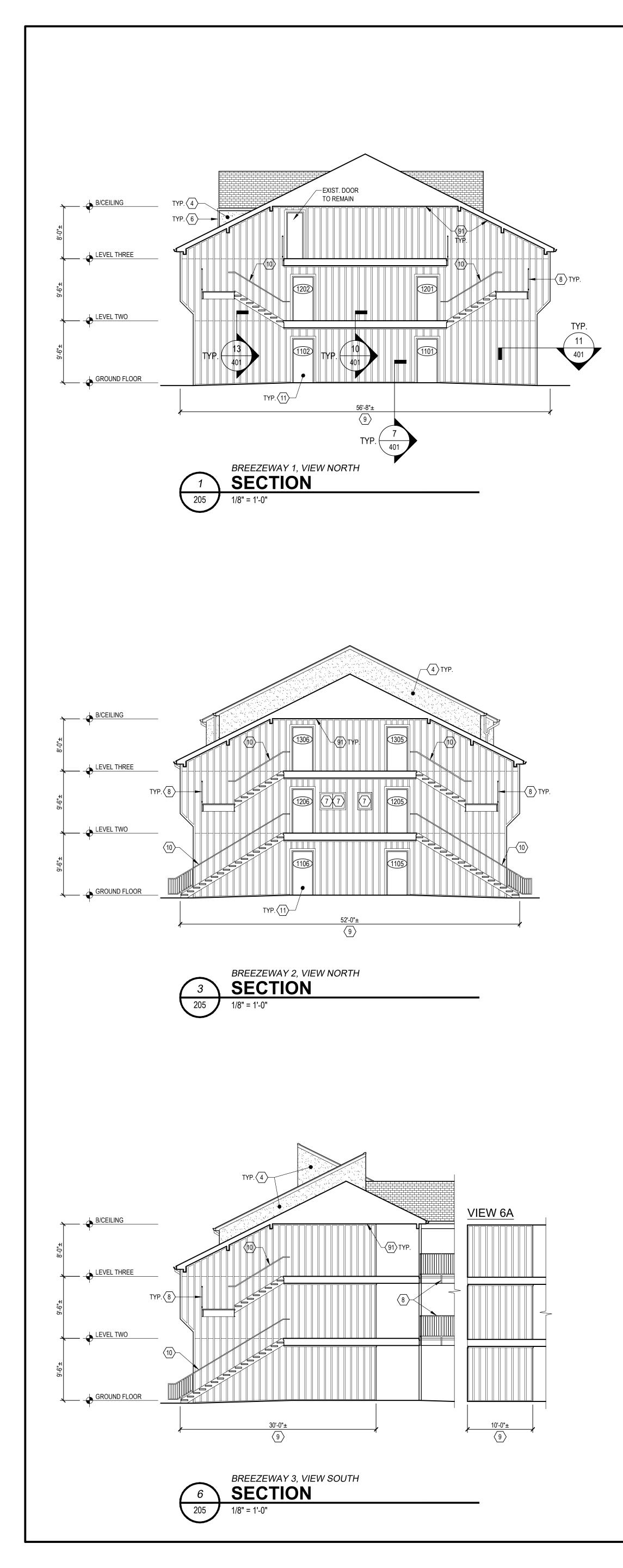
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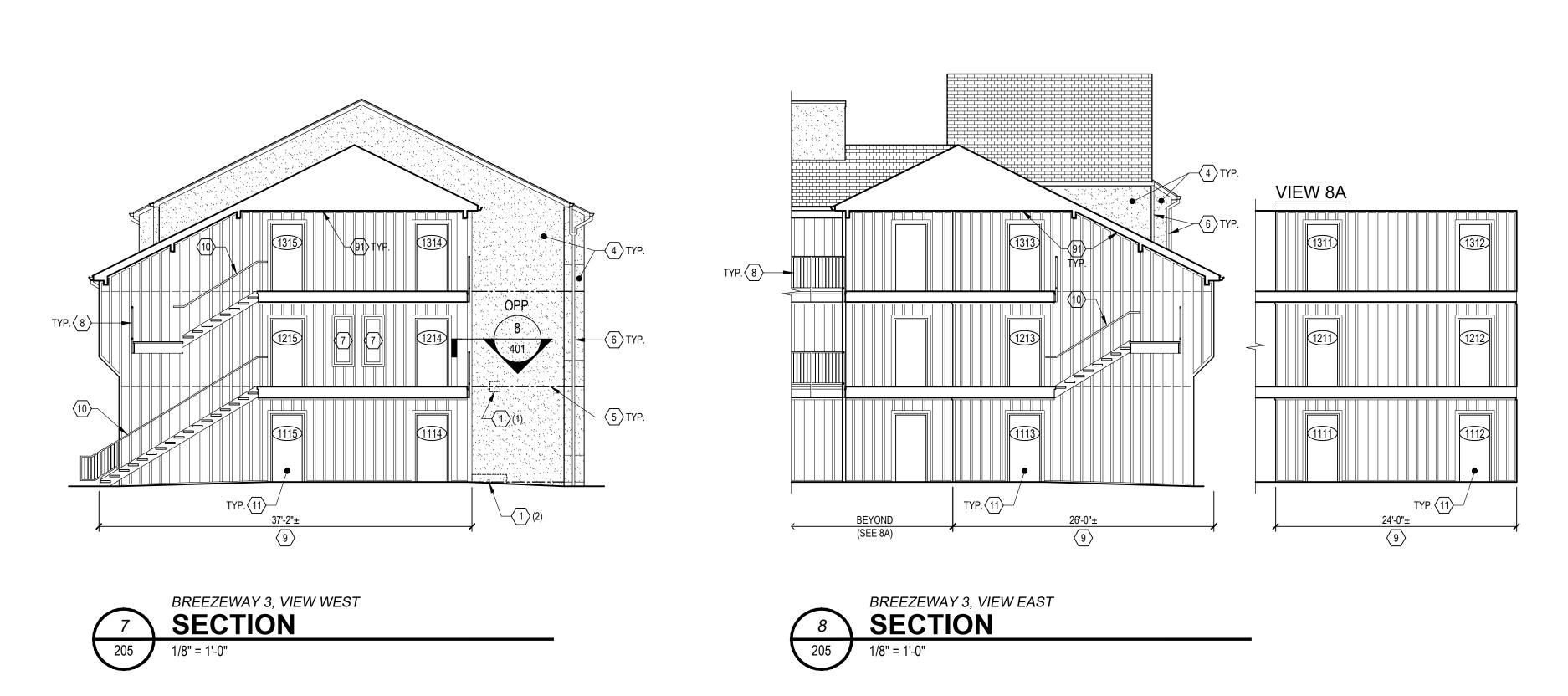
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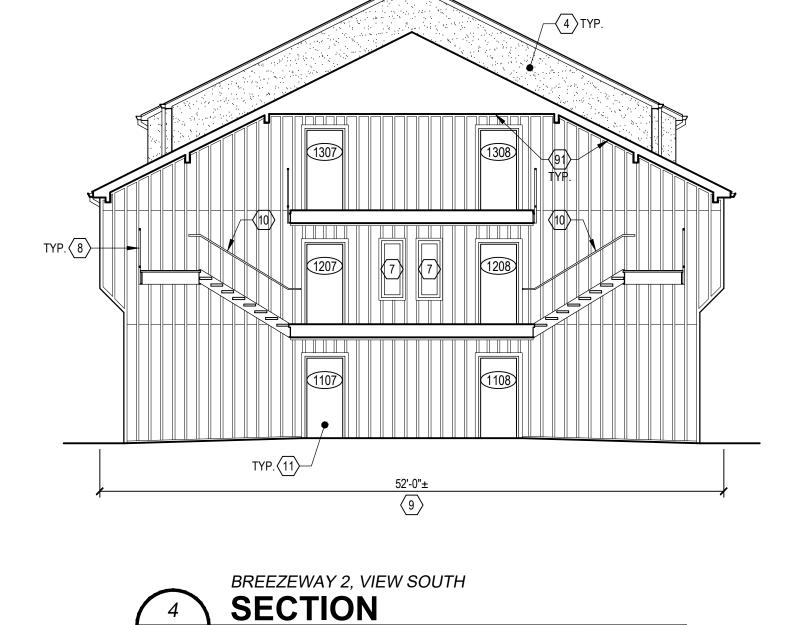
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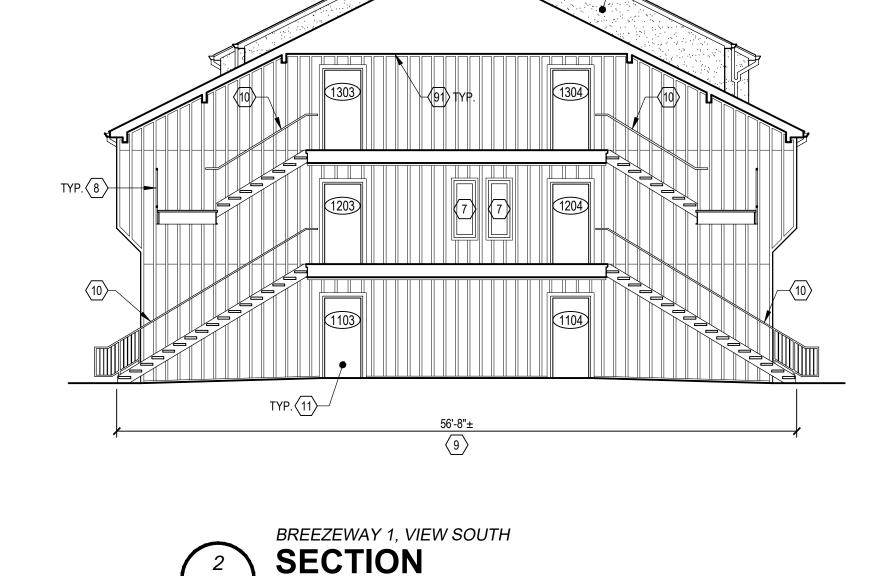












205

1/8" = 1'-0"

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205

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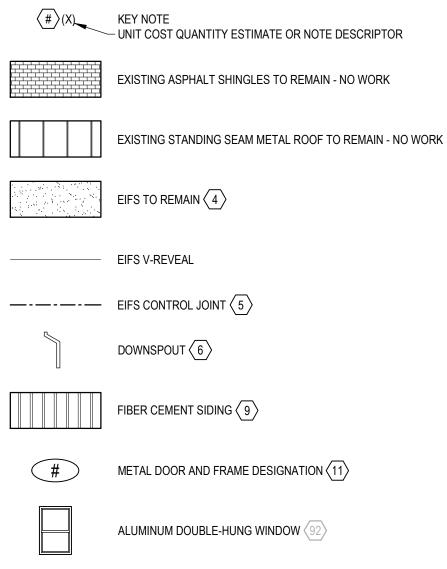
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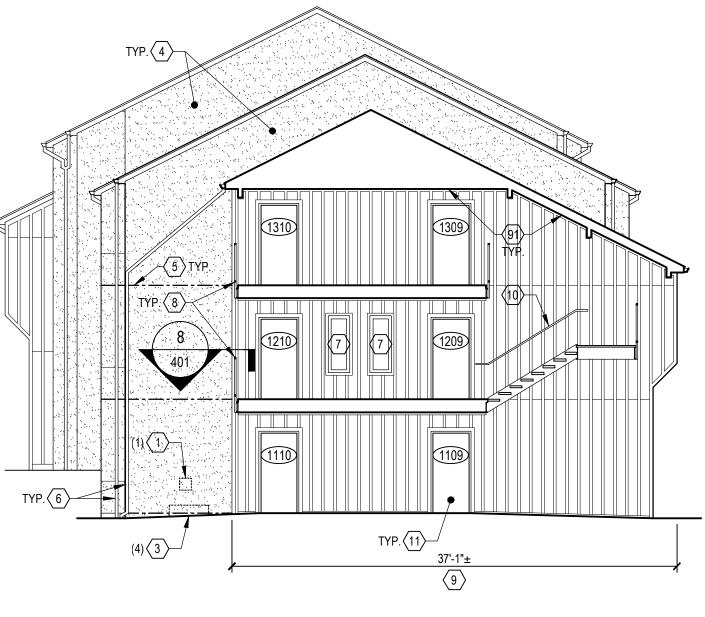
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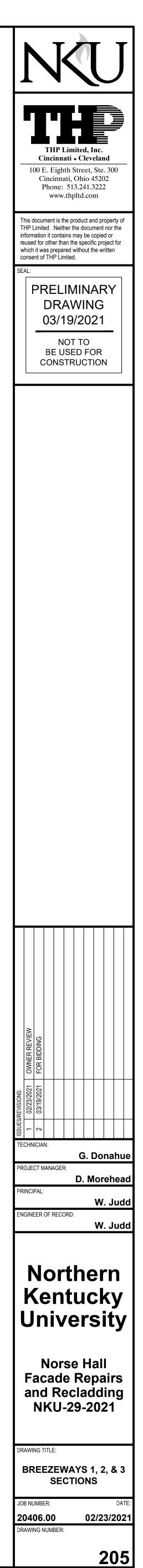


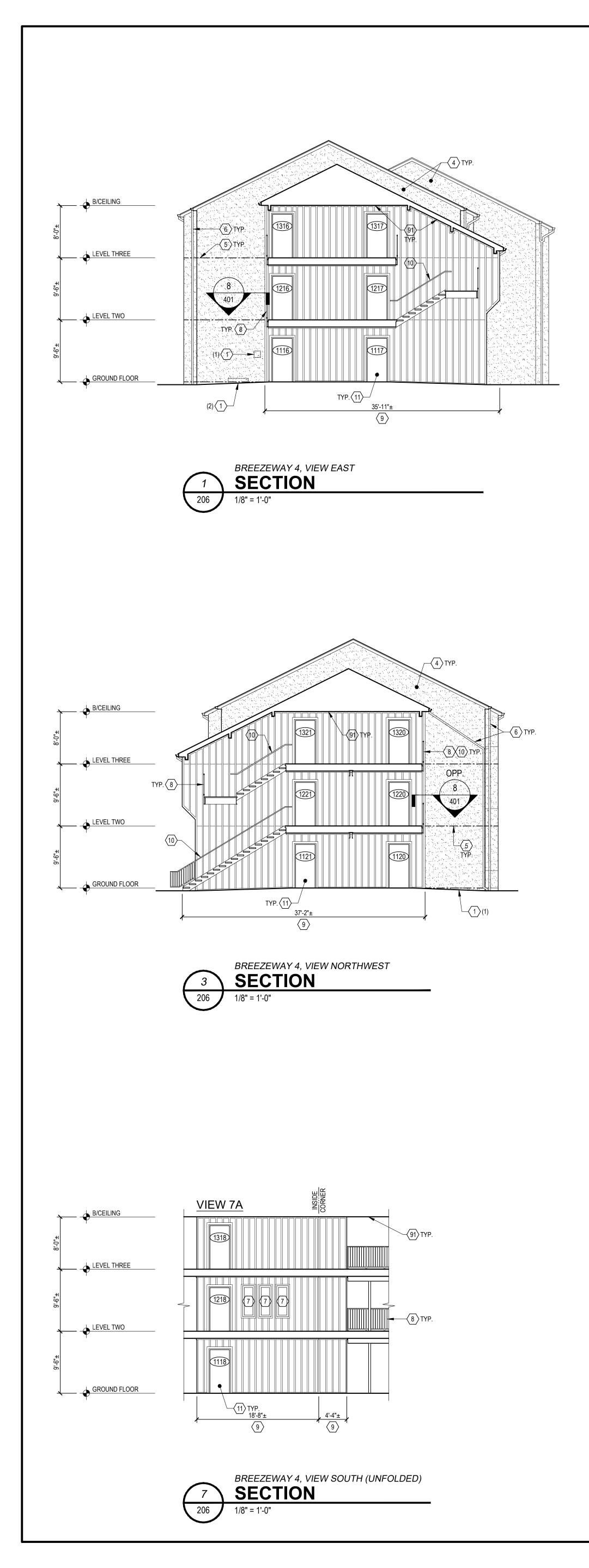


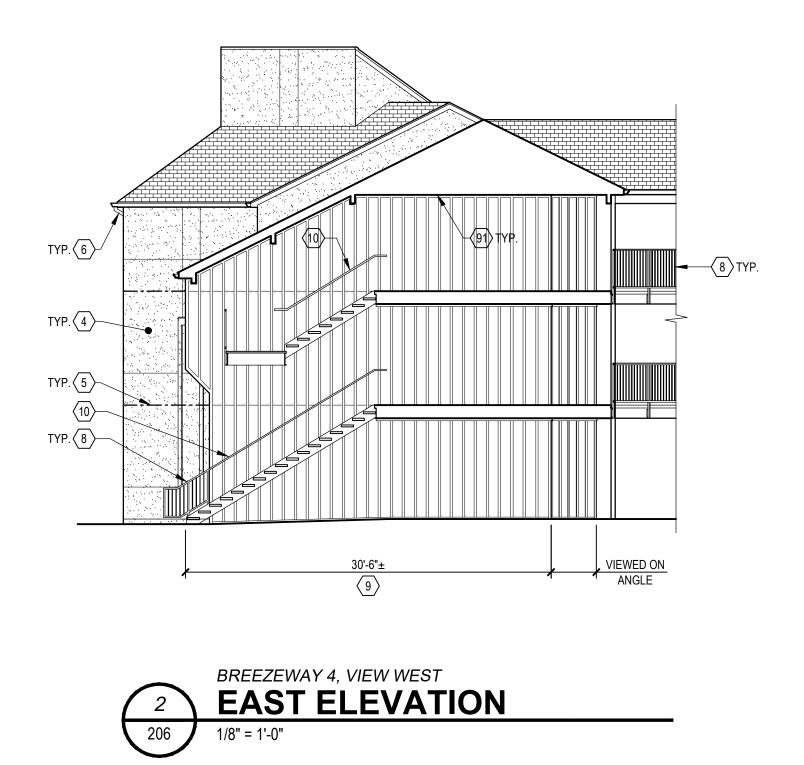
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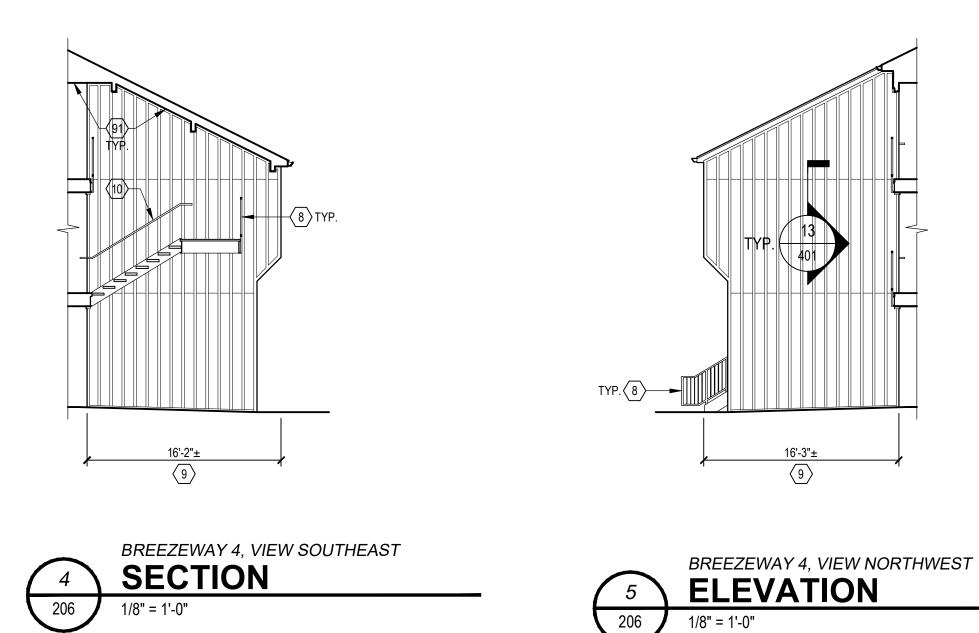
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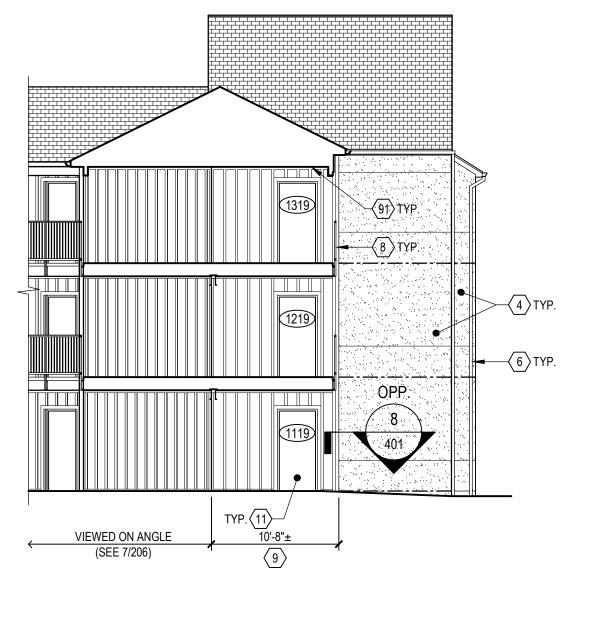


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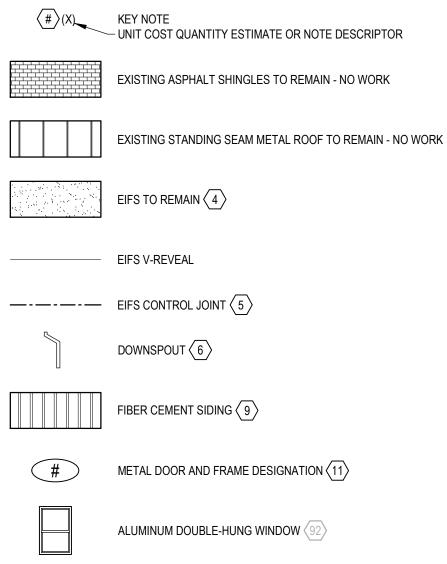
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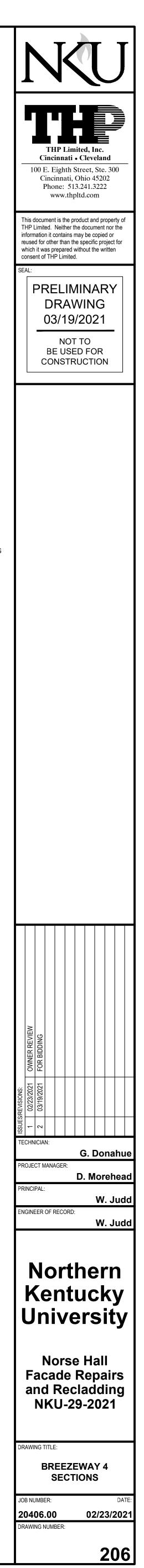


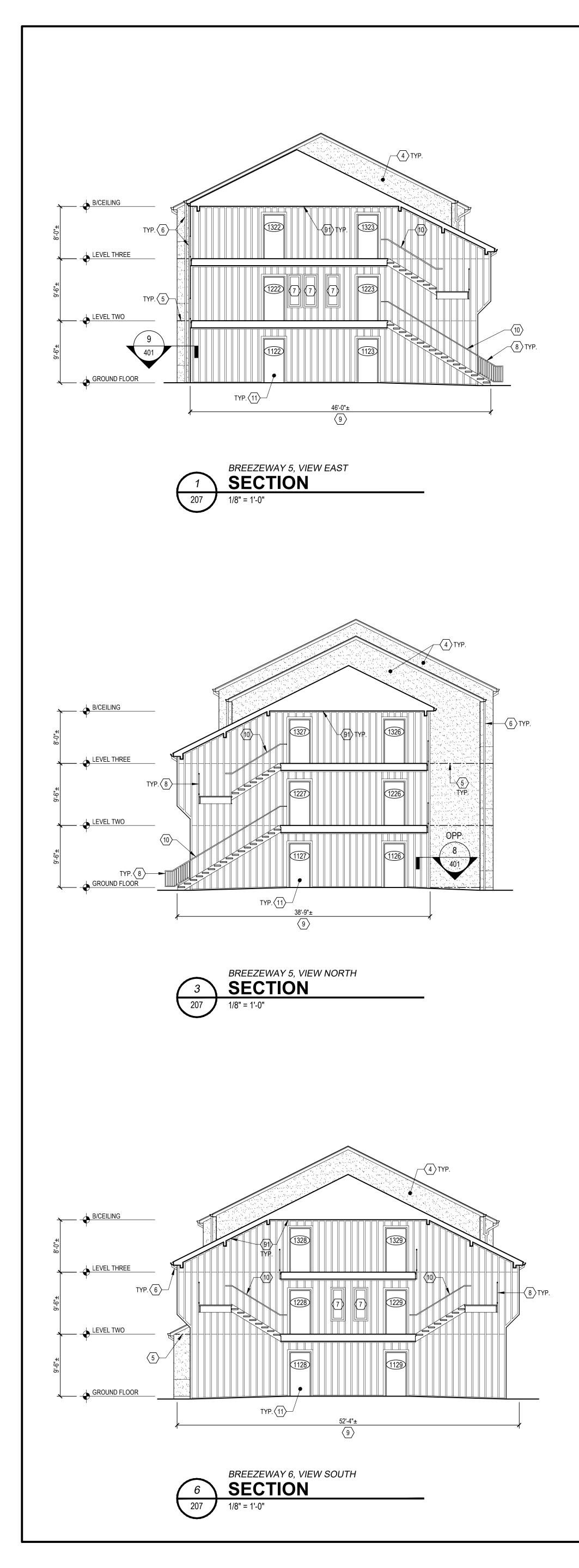
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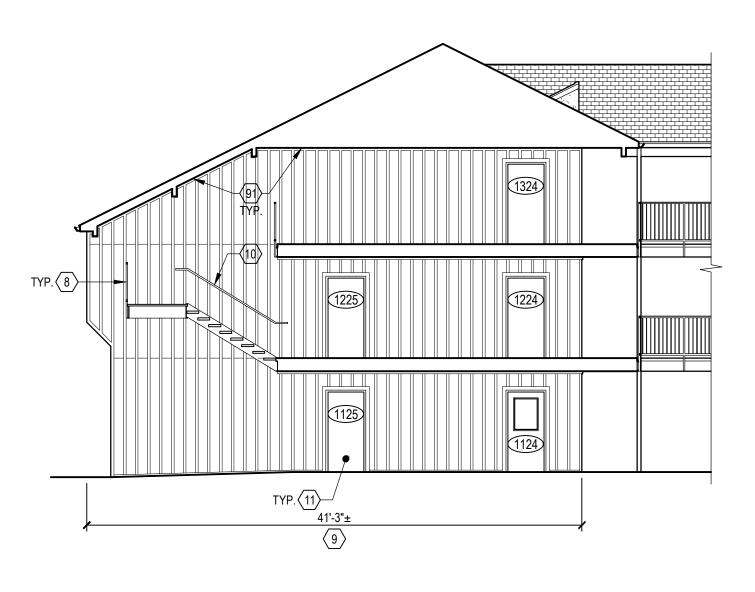


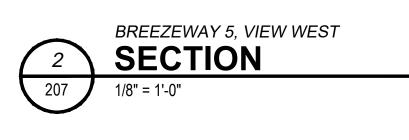
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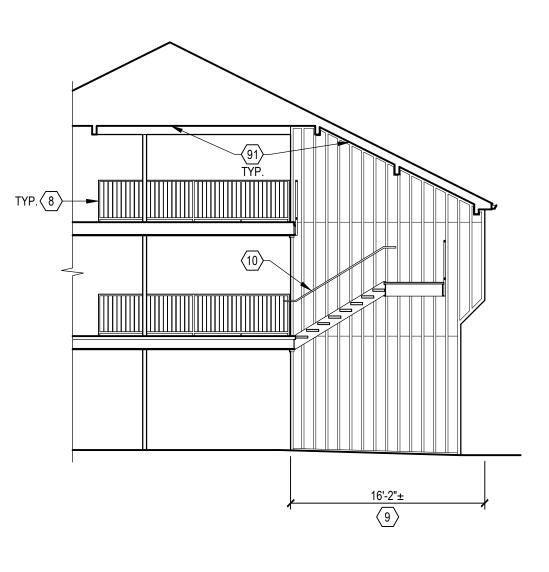
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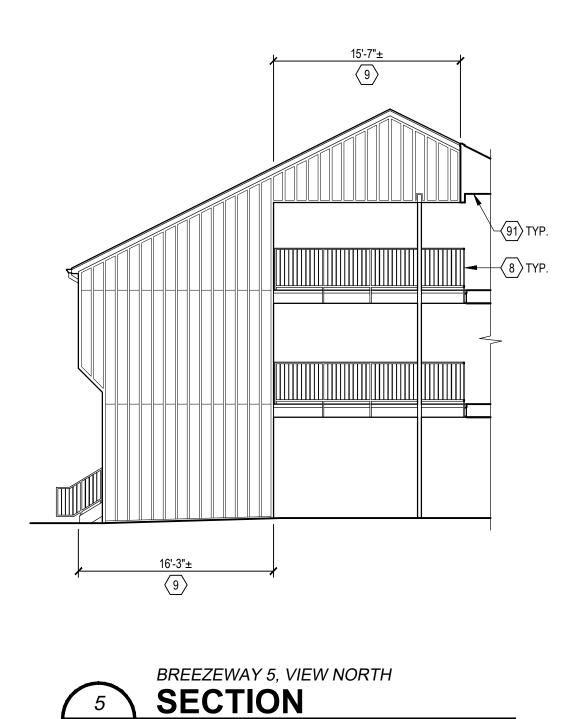




BREEZEWAY 5, VIEW SOUTH SECTION

4

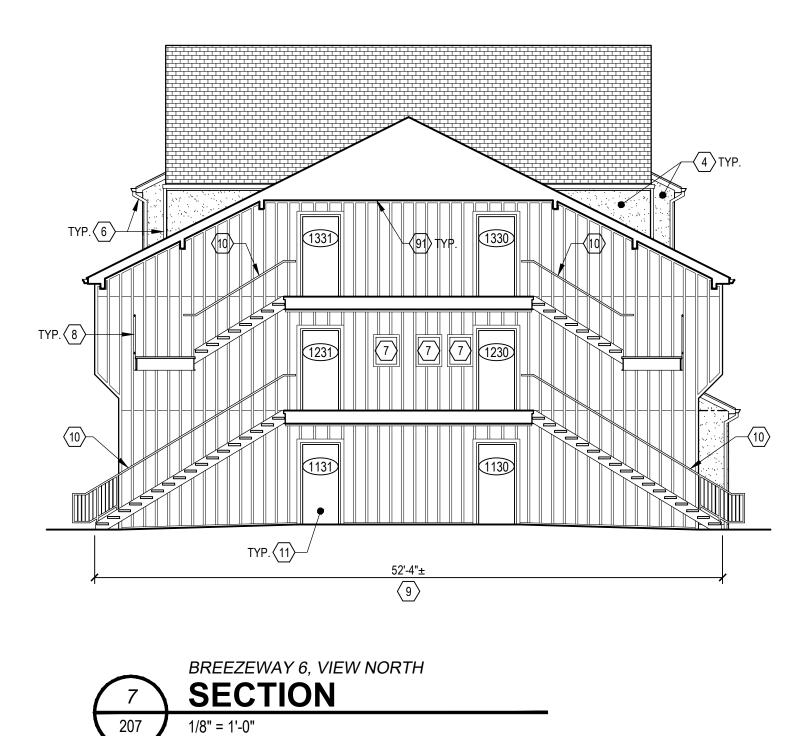
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5

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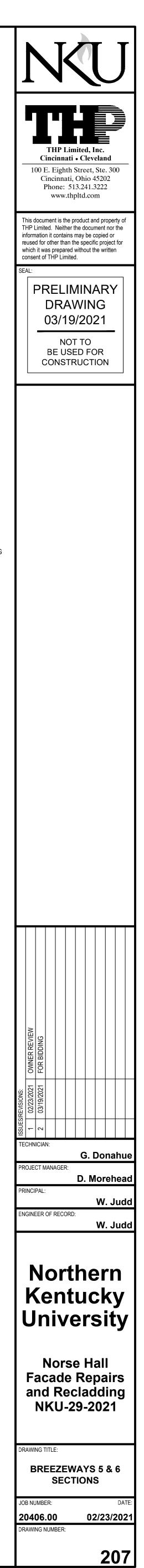
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- 4. EXISTING EXTERIOR INSULATION AND FINISH SYSTEM TO REMAIN. AFTER COMPLETION OF EIFS REPAIRS, CLEAN, PREPARE, AND RECOAT EIFS SURFACE. REFER TO SPECIFICATION SECTIONS 072400 AND 099101.
- REPLACE BACKER ROD AND SEALANT. REPAIRS TO BE PERFORMED ON A UNIT PRICE BASIS. REFER TO SPECIFICATION SECTIONS 012100 AND 079201 AND DETAIL 5/301.
- RE-COATING. 7. EXISTING ELECTRICAL, PHONE, OR CABLE PANEL TO REMAIN. PROVIDE NEW FIBER CEMENT TRIM. REFER TO
- SIMILAR DETAILS 4/401 & 5/401 AND SPECIFICATION SECTION 074646. 8. EXISTING STAIR AND/OR RAILING TO REMAIN. PROTECT DURING PERFORMANCE OF WORK.
- 9. AT BREEZEWAY EXTERIOR WALLS, REMOVE EXISTING EIFS AND INSPECT CONDITION OF EXISTING SHEATHING TO REMAIN. DETERIORATED AREAS OF SHEATHING ARE TO BE REPLACED ON A UNIT PRICE BASIS. REFER TO SPECIFICATION SECTION 012100. INSTALL NEW EXTERIOR WALL CLADDING SYSTEM, INCLUDING LIQUID-APPLIED AIR BARRIER, RIGID INSULATION, FURRING STRIPS, AND PREFINISHED FIBER CEMENT SIDING AND TRIM (INCLUDING REQUIRED FLASHINGS). REFER TO SPECIFICATION SECTIONS 072726 AND 074646 AND DETAILS ON DRAWING 401.
- 10. DETACH RAILING AS REQUIRED TO ALLOW INSTALLATION OF NEW SIDING. PROVIDE BLOCKING AND TRIM AT RAILING ATTACHMENT POINTS SIMILAR TO DETAIL 14/401.
- 11. REMOVE AND REPLACE EXISTING METAL DOOR AND FRAME. REFER TO SPECIFICATION SECTION 081100. PREPARE AND PAINT NEW DOOR AND FRAME PER SPECIFICATION SECTION 099101.
- 91. ALTERNATE 1: AT BREEZEWAY LEVEL 3 CEILINGS, REMOVE AND SPOT PRIME ALL AREAS OF LOOSE OR PEELING PAINT AND RECOAT ENTIRE CEILING, INCLUDING GYPSUM BOARD, WOOD BEAMS, AND WOOD TRIM. REFER TO SPECIFICATION SECTION 099100.
- 92. ALTERNATE 2: EXISTING ALUMINUM WINDOWS TO REMAIN. CLEAN, PREPARE, AND PAINT FRAMES. REFER TO SPECIFICATION SECTION 099101.

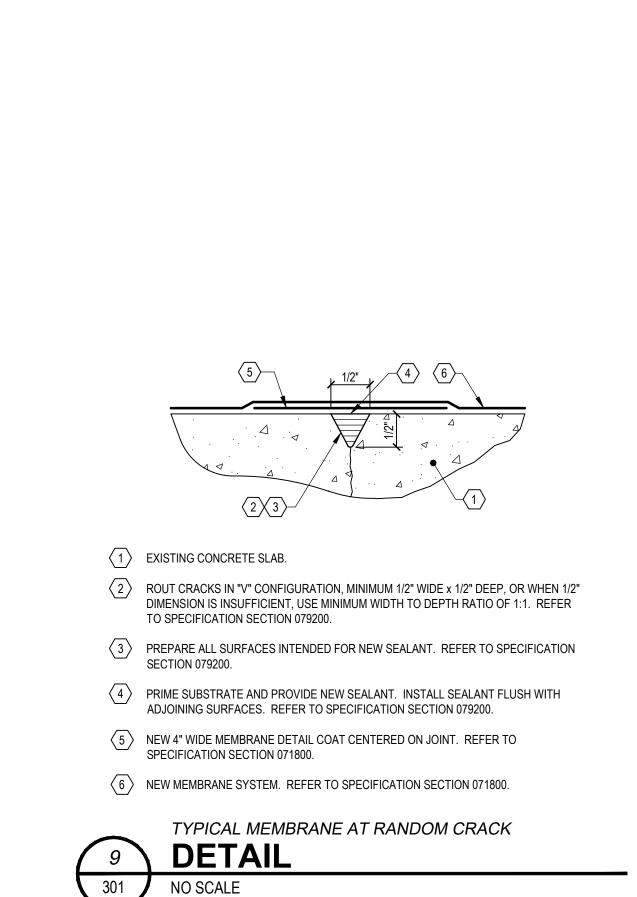
LEGEND

(X)	KEY NOTE – UNIT COST QUANTITY ESTIMATE OR NOTE DESCRIPTOR
	EXISTING ASPHALT SHINGLES TO REMAIN - NO WORK
	EXISTING STANDING SEAM METAL ROOF TO REMAIN - NO WORK
	EIFS TO REMAIN $\overline{4}$
	EIFS V-REVEAL
	EIFS CONTROL JOINT $\overline{5}$
	DOWNSPOUT $\left< \frac{6}{6} \right>$
	FIBER CEMENT SIDING 9
#	METAL DOOR AND FRAME DESIGNATION $\langle 11 \rangle$
	ALUMINUM DOUBLE-HUNG WINDOW (92)

5. AT ISOLATED LOCATIONS WITHIN EIFS WHERE CONTROL JOINT SEALANT HAS DISBONDED, REMOVE AND

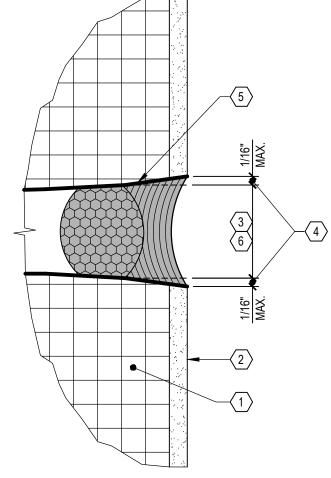
6. REMOVE AND REINSTALL ALL EXISTING DOWNSPOUTS AS REQUIRED FOR EIFS REPAIRS, CLEANING, AND







- SECTION 079200. (6) AFTER CURE OF COATING MATERIAL, INSTALL NEW BACKER ROD AND SILICONE SEALANT. REFER TO DETAIL 6/401 AND SPECIFICATION SECTION 079200.
- (5) COAT SIDES OF PREPARED JOINT WITH CEMENTITIOUS MATERIAL. REFER TO SPECIFICATION
- $\langle 3 \rangle$ EXISTING CONTROL JOINT. REMOVE EXISTING SEALANT AND BACKER ROD. (4) GRIND EXISTING EDGES OF JOINT SIDES TO REMOVE SEALANT REMNANTS AND CLEAN SURFACE. AFTER COMPLETION OF GRINDING, BLOW-OUT JOINT OPENING WITH COMPRESSED AIR TO REMOVE DUST, DIRT, AND DEBRIS. REFER TO SPECIFICATION SECTION 079200.
- $\langle 2 \rangle$ EXISTING EIFS LAMINA.
- $\langle 1 \rangle$ EXISTING INSULATION BOARD.







EIFS LAMINA REPAIR

 $\langle 7 \rangle + +$

(1) EXISTING 2" INSULATION BOARD TO REMAIN. DO NOT DAMAGE.

(3) EXISTING EIFS FINISH COAT TO REMAIN. DO NOT DAMAGE.

SURFACES. REFER TO SPECIFICATION SECTION 072400.

REFER TO SPECIFICATION SECTION 072400.

SPECIFICATION SECTION 072400.

(8) PROVIDE NEW EIFS FINISH COAT. FEATHER OUT FINISH COAT TO BE FLUSH WITH EXISTING TOP COAT. REFER TO SPECIFICATION SECTION 072400.

- CORNERS ARE 90°.

- (7) INTERFACE BETWEEN EXISTING AND NEW SURFACES MUST BE A NEAT STRAIGHT LINE. USE LEVEL

 $\langle 5 \rangle$ EXISTING EIFS FINISH COAT AND MESH REINFORCING TO BE REMOVED TO EXPOSE BASE COAT.

(6) PROVIDE NEW EIFS BASE COAT WITH MESH REINFORCING. OVERLAP NEW MESH 2 INCHES ONTO

(4) CONFIRM DAMAGED OR DETERIORATED EIFS LOCATIONS REQUIRING REPAIR WITH A/E AND OWNER

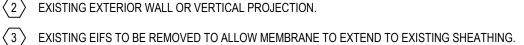
IN ADVANCE. REMOVE LOOSE, DAMAGED OR OTHERWISE INADEQUATE MATERIAL TO EXPOSE CLEAN TIGHT MATERIALS. INFILL DAMAGED INSULATION BOARD WITH LOW EXPANDING URETHANE

SPRAY FOAM. ALLOW SPRAY FOAM TO CURE. SHAVE OR RASP FLUSH WITH ADJACENT INSULATION

EXISTING EXPOSED BASE COAT. COMPLETELY ENCAPSULATE NEW MESH IN BASE COAT. REFER TO

 $\langle 2 \rangle$ EXISTING EIFS BASE COAT WITH REINFORCING MESH TO REMAIN. DO NOT DAMAGE.

- OR TAKE OTHER MEASURES TO ASSURE TERMINATIONS ARE HORIZONTAL AND VERTICAL AND



4 PROVIDE NEW COVE SEALANT. REFER TO DETAIL 7/301.

SEALANT. REFER TO SPECIFICATION SECTION 071800.

DETAIL

NO SCALE

10

301

 $\langle 2 \rangle$ EXISTING EXTERIOR WALL OR VERTICAL PROJECTION.

 $\langle 1 \rangle$ EXISTING CONCRETE SLAB ON METAL DECK.

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(5) NEW DETAIL COAT TERMINATED ON COVE SEALANT. REFER TO SPECIFICATION SECTION 071800.

6 NEW MEMBRANE SYSTEM. TERMINATE MEMBRANE SYSTEM 1 1/2" ABOVE COVE SEALANT AT WALL

TYPICAL MEMBRANE AT VERTICAL SURFACE

SHEATHING. WHERE VERTICAL PROJECTION IS STEEL, TERMINATE MEMBRANE SYSTEM ON COVE

 $\langle 2 \rangle$



2 PROVIDE NEW BACKER ROD. REFER TO SPECIFICATION SECTION 079200.

 $\langle 1 \rangle$ SURFACE OF NEW FIBER CEMENT TRIM, EXISTING VINYL SOFFIT, OR EXISTING EIFS.

2 —

 $\langle 1 \rangle -$

 $\langle 3 \rangle$ EXISTING EIFS BASE COAT WITH REINFORCING MESH.

OF JOINT. REFER TO SPECIFICATION SECTION 072400.

REFER TO SPECIFICATION SECTION 072400.

DETAIL

SPECIFICATION SECTION 072400.

NO SCALE

301

TO SPECIFICATION SECTION 072400.

 $\langle 1 \rangle$ EXISTING BACKUP WALL.

 $\langle 4 \rangle$ EXISTING EIFS TOP COAT.

 $\langle 2 \rangle$ EXISTING RIGID INSULATION BOARD.

(5) REMOVE EIFS TOP COAT AND EXISTING BASE COAT LEAVING REINFORCING MESH INTACT. REFER

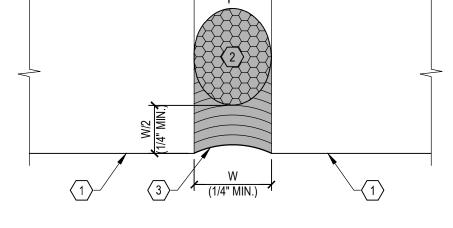
CRACK COINCIDES WITH INSULATION PANEL JOINT, PROVIDE ANCHORS AT PANELS ON BOTH SIDES

(6) PROVIDE NEW ANCHORS WITH DISKS AT 16" O.C. INTO EXISTING STUD OR CMU WALL. WHERE

 $\langle 7 \rangle$ AFTER INSTALLATION OF ANCHOR, OVERCOAT AFFECTED AREA WITH NEW BASE COAT MATERIAL.

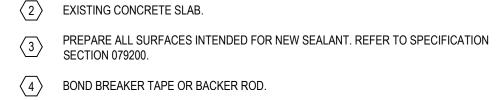
 $\langle 8 \rangle$ AFTER CURE OF BASE COAT, PROVIDE NEW FINISH COAT. REFER TO DETAIL 1/401 AND

TYPICAL EIFS RE-ANCHORING





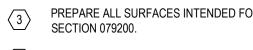
NO SCALE



 $\langle 1 \rangle$ SURFACE OF EXISTING WALL.

NO SCALE

301

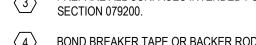


3/4"

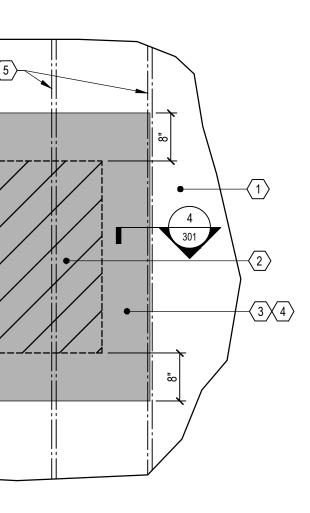
 $\langle 4 \rangle - \langle$

301

—— (1)







$\langle 1 \rangle$ EXISTING EIFS SYSTEM TO REMAIN. DO NOT DAMAGE.

 $\langle 2 \rangle$ AREA OF DETERIORATED EXTERIOR SHEATHING BOARD OR DELAMINATION. (3) REMOVE EIFS SYSTEM (INCLUDING EXTERIOR SHEATHING BOARD AS NEEDED) AND EXPOSE OF FRAMING. REMOVAL TO EXTEND 8" BEYOND DETERIORATED AREA TOP AND BOTTOM, AND TO CENTER LINE OF NEAREST STUD ON EACH SIDE.

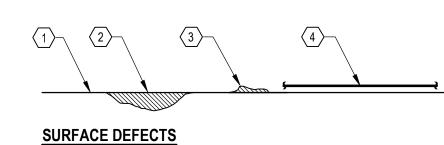
- $\langle 4 \rangle$ PROVIDE NEW EIFS SYSTEM PER SPECIFICATION SECTION 072400.
- (5) EXISTING EXTERIOR WALL FRAMING AT 16" O.C. ASSUMED. CONTRACTOR TO VERIFY AND COORDINATE ACTUAL SPACING AND EXISTING CONDITIONS.

EIFS FULL DEPTH PATCHING REPAIR **ELEVATION DETAIL**

6 <<u>7</u>>— ++•+

- (1) EXISTING FRAMING TO REMAIN. NOTE: BATT INSULATION TO REMAIN NOT SHOWN FOR CLARITY. EXISTING EXTERIOR SHEATHING. REMOVE DETERIORATED SHEATHING TO CENTERLINE OF METAL STUD. REATTACH
- TO STUD WITH NEW ANCHORS. REFER TO SPECIFICATION SECTION 072400. $\langle 3 \rangle$ EXISTING RIGID INSULATION. TO BE REMOVED TO EXPOSE EXTERIOR SHEATHING BOARD.
- $\langle 4 \rangle$ EXISTING EIFS BASE COAT WITH REINFORCING MESH TO REMAIN. DO NOT DAMAGE.
- 5 EXISTING EIFS FINISH COAT TO BE REMOVED TO EXPOSE BASE COAT AND MESH REINFORCING. REFER TO SPECIFICATION SECTION 072400.
- (6) PROVIDE NEW EXTERIOR SHEATHING BOARD (AS NEEDED). SECURE TO FRAMING WITH SCREWS. REFER TO SPECIFICATION SECTION 072400.
- (7) PROVIDE NEW RIGID INSULATION BOARD. ATTACH TO EXTERIOR SHEATHING WITH ADHESIVE. FIT TIGHT TO EXISTING INSULATION. OVERLAP ONTO EXISTING SHEATHING BOARD. REFER TO SPECIFICATION SECTION 072400.
- (8) PROVIDE NEW EIFS BASE COAT WITH MESH REINFORCING. OVERLAP NEW BASE COAT AND REINFORCING MESH ONTO EXISTING EXPOSED BASE COAT. REFER TO SPECIFICATION SECTION 072400.
- (9) PROVIDE NEW EIFS FINISH COAT TO BE EXTENDED OVER EXISTING REINFORCEMENT. REFER TO SPECIFICATION SECTION 072400.
- (10) INTERFACE BETWEEN EXISTING AND NEW SURFACES MUST BE A NEAT STRAIGHT LINE. USE LEVEL OR TAKE OTHER MEASURES TO ASSURE TERMINATIONS ARE HORIZONTAL AND VERTICAL AND CORNERS ARE 90°.

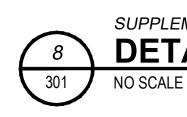




 $\langle 1 \rangle$ EXISTING CONCRETE SLAB.

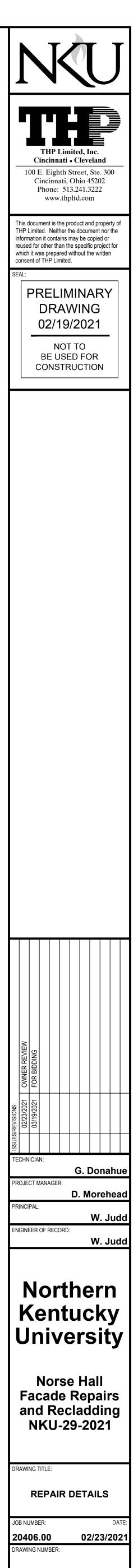
CUT-OFF NON-FUNCTIONAL METALS 3/4" BELOW CONCRETE SURFACE. PREPARE CONCRETE AND PATCH WITH EPOXY/SAND MIXTURE. NO FLAME CUTTING PERMITTED. EXPOSED SLAB REINFORCEMENT AND OR WIRE MESH. CUT AND REMOVE SUFFICIENT AMOUNT OF REINFORCEMENT TO PROVIDE 1/2" COVER AT CUT ENDS. PREPARE AND PATCH WITH EPOXY/SAND

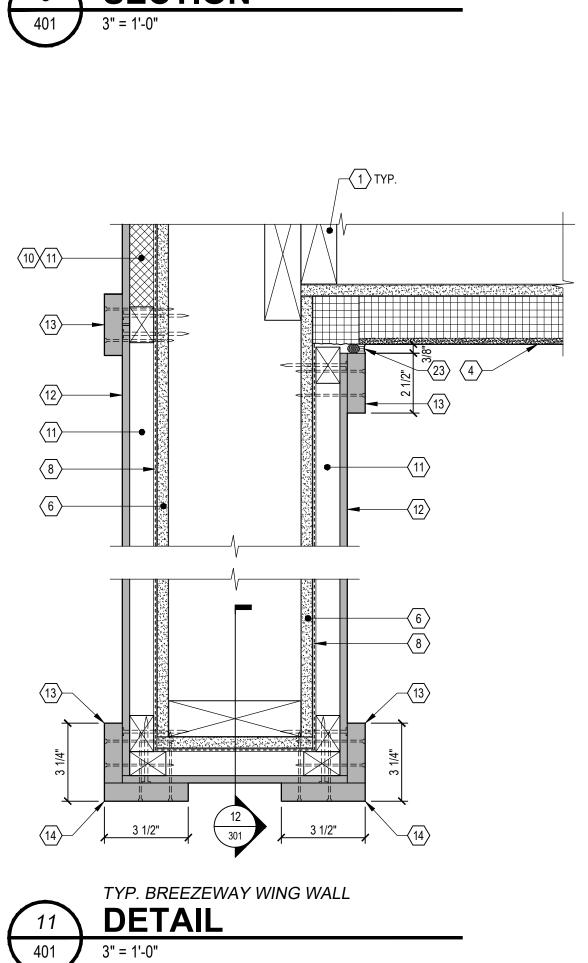
- MIXTURE. CONSULT WITH ENGINEER PRIOR TO CUTTING REINFORCEMENT. $\langle 2 \rangle$ REPAIR MINOR EXISTING SURFACE DEFECTS CAUSED BY AGGREGATE POP-OUTS, SURFACE SCALING, AND FREEZE-THAW DAMAGE IN MANNER ACCEPTABLE TO ENGINEER AND MEMBRANE MANUFACTURER. REFER TO SPECIFICATION SECTION 071800.
- (3) GRIND SMOOTH OR OTHERWISE REMOVE EXISTING EXCESS CONCRETE AND/OR MATERIAL DEPOSITED (LEFT ON SLAB) FROM CONSTRUCTION ACTIVITIES. WHERE EXISTING SLAB CONCRETE IS MOUNDED OR OTHERWISE PROTRUDES MORE THAN 1/16" ABOVE DECK, GRIND IT SMOOTH, OR GRIND TRANSITION SLOPE OF 1:4 (MAXIMUM) WITH BLENDING RADII AT PERIMETER OF LARGE AREAS.
- $\langle 4 \rangle$ NEW MEMBRANE SYSTEM. REFER TO SPECIFICATION SECTION 071800.



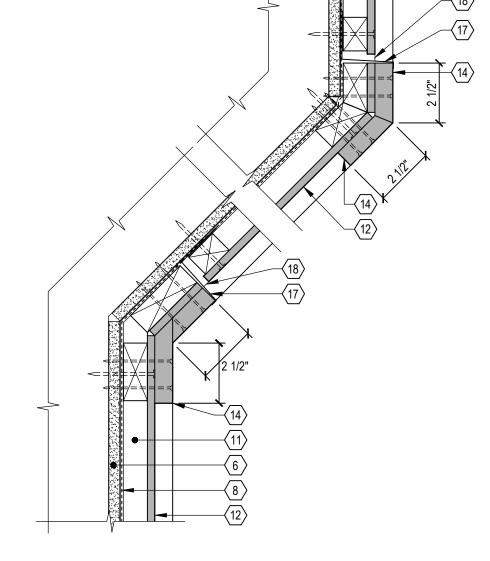
SUPPLEMENTAL SURFACE PREPARATION DETAIL

	-{2}
	-{3>
	-{4}
<u> </u>	-{5}



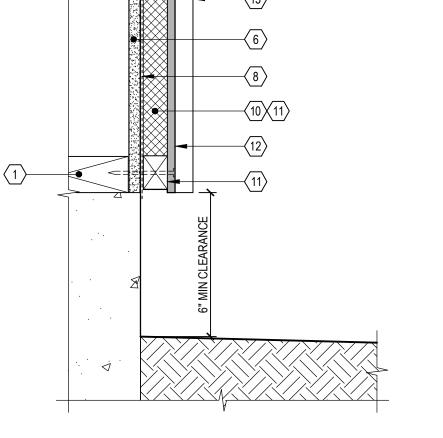


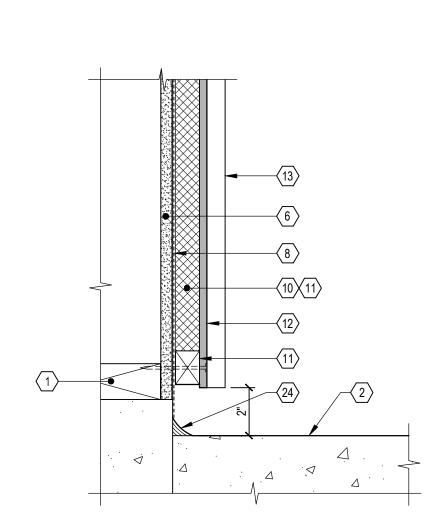


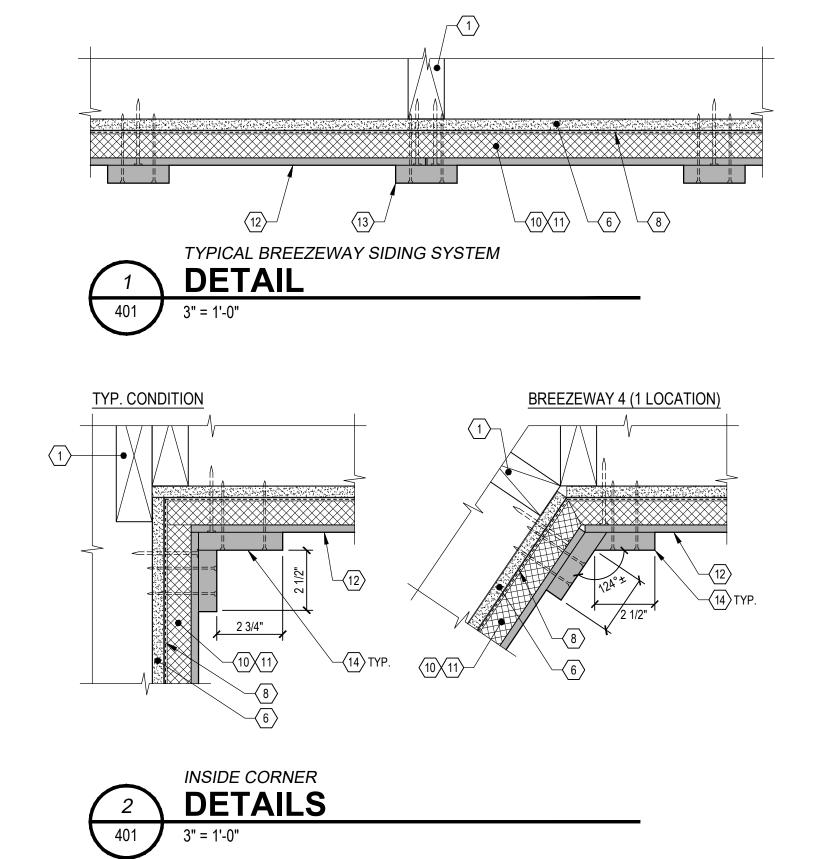


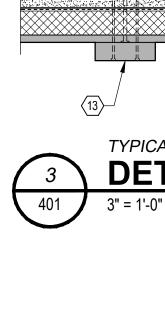


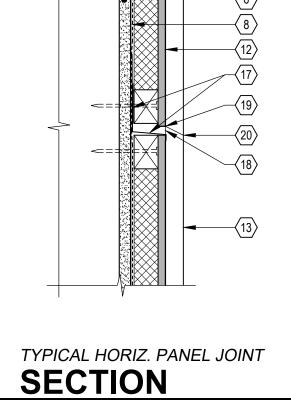


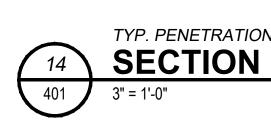


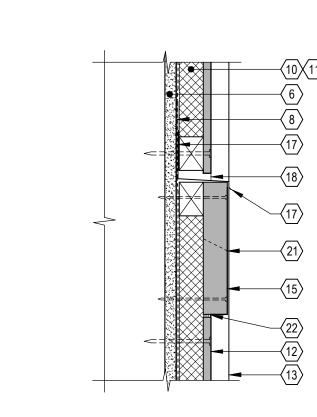


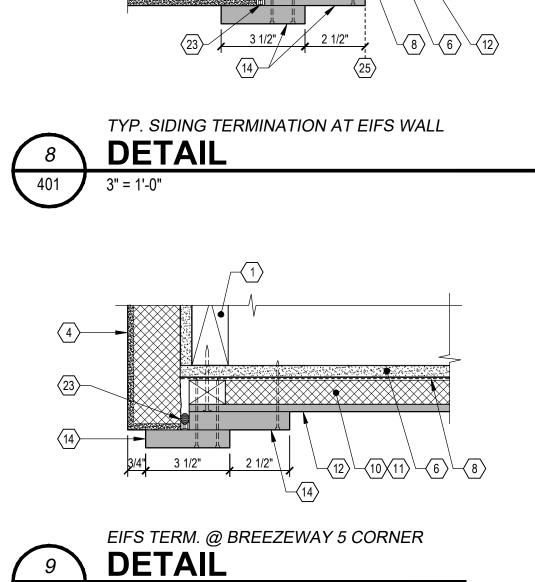










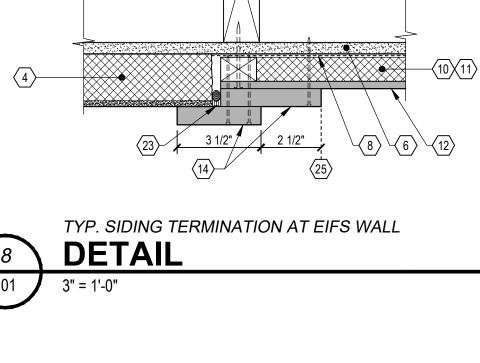


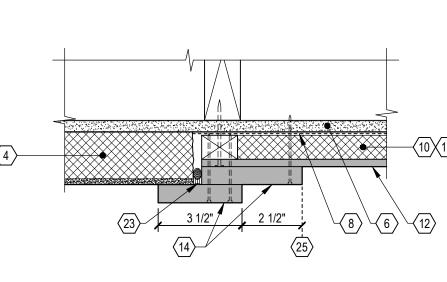
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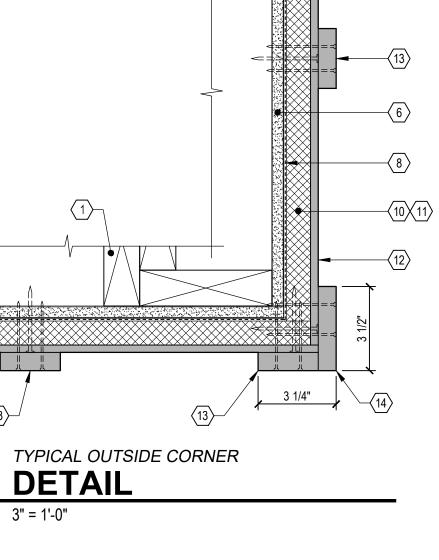
3" = 1'-0"

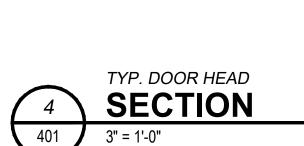
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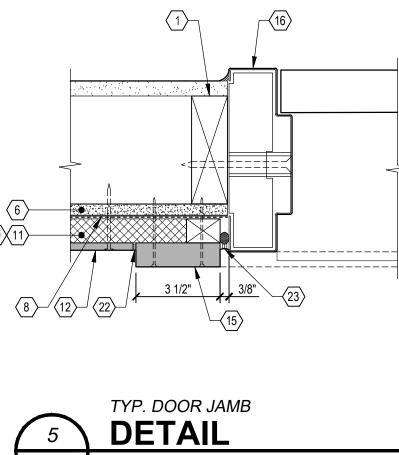
401 3" = 1'-0"

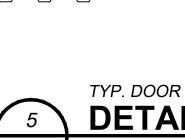




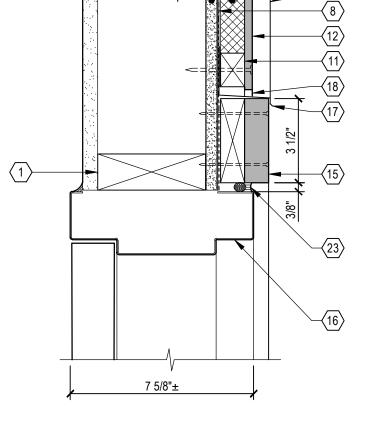


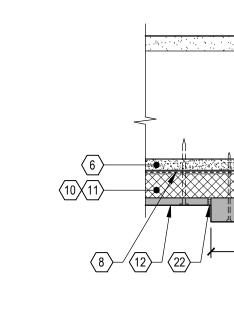






3" = 1'-0"





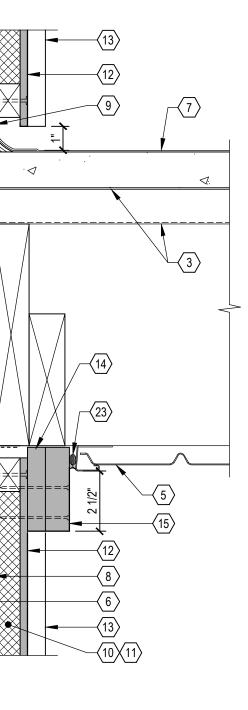
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TYP.(1)

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401

3" = 1'-0"







- A. KEY NOTES APPLY TO ALL DRAWINGS ON SHEET 401. ALL KEY NOTES WILL NOT BE USED ON ALL DRAWINGS.
- B. EXISTING WALL FRAMING SHOWN IN DETAILS IS FOR REFERENCE ONLY AND DOES NOT NECESSARY REFLECT CONCEALED FRAMING CONDITIONS.
- C. DETAILS DEVELOPED FROM FIBER CEMENT SIDING MANUFACTURER'S STANDARD DETAILS AND INSTALLATION REQUIREMENTS. REVIEW WITH MANUFACTURER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- D. EXISTING EIFS IS NOT SHOWN EXCEPT AT LOCATIONS SHOWING INTERFACE BETWEEN EIFS AND NEW CLADDING SYSTEM. CONTRACTOR SHALL DEMOLISH EXISTING EIFS TO SHEATHING IN ALL AREAS TO RECEIVE NEW CLADDING.

KEY NOTES:

- 1. EXISTING FRAMING TO REMAIN.
- 2. EXISTING CONCRETE SLAB ON GRADE TO REMAIN.
- 3. EXISTING CONCRETE SLAB ON METAL DECKING TO REMAIN. 4. EXISTING EIFS TO REMAIN. CUT CLEAN VERTICAL EDGE AS SHOWN TO ALLOW FOR
- INSTALLATION OF NEW CLADDING SYSTEM.
- 5. EXISTING VINYL SOFFIT CEILING TO REMAIN. 6. EXISTING FIBERGLASS-FACED GYPSUM SHEATHING PANEL TO REMAIN. DETERIORATED OR DAMAGED SHEATHING TO BE REPLACED ON A UNIT COST BASIS. REFER TO SPECIFICATION
- SECTIONS 012200 & 061643. 7. NEW TRAFFIC MEMBRANE TO BE INSTALLED AT BREEZEWAY LEVEL 2 & 3 SLABS. REFER TO
- DETAILS 8/301, 9/301, & 10/301 AND SPECIFICATION SECTION 071800 8. NEW LIQUID-APPLIED AIR BARRIER. REFER TO SPECIFICATION SECTION 072726.
- 9. AIR BARRIER TO BE APPLIED OVER TRAFFIC MEMBRANE AT BASE OF WALL. REFER TO DETAIL 10/301. EDGE OF AIR BARRIER TO BE TAPED TO PROVIDE STRAIGHT, NEAT EDGE AT TOP OF MEMBRANE COVE JOINT.
- 10. NEW 5/4X2 PRESSURE TREATED HORIZONTAL FURRING STRIPS @ 16" O.C., ATTACHED TO EXISTING FRAMING WITH (2) NAILS AT EACH STUD. REFER TO SPECIFICATION SECTION 074646.
- 11. NEW 1" THICK RIGID INSULATION, CUT AND FRICTION-FIT BETWEEN FURRING STRIPS. REFER TO SPECIFICATION SECTION 074646.
- 12. NEW FIBER CEMENT SIDING PANELS. REFER TO SPECIFICATION SECTION 074646.
- 13. NEW VERTICAL FIBER CEMENT BATTEN BOARD TRIM AT 12" O.C. REFER TO SPECIFICATION
- SECTION 074646.
- 14. NEW 4/4 FIBER CEMENT TRIM. REFER TO SPECIFICATION SECTION 074646.
- 15. NEW 5/4 FIBER CEMENT TRIM. REFER TO SPECIFICATION SECTION 074646.
- 16. NEW METAL DOOR AND FRAME. REFER TO SPECIFICATION SECTION 081100. 17. NEW ALUMINUM FLASHING AT TOP OF TRIM. EXTEND UP FACE OF SHEATHING AND ADHERE
- TOP EDGE OF TRIM TO AIR BARRIER WITH FLASHING TAP. REFER TO SPECIFICATION SECTION 072726.
- 18. PROVIDE 1/4" MIN. GAP BETWEEN BOTTOM EDGE OF PANEL AND TOP OF FLASHING. DO NOT FILL GAP WITH JOINT SEALANT.
- 19. JOINT AT BOTTOM OF PANEL TO ALIGN WITH BOTTOM OF PANEL ABOVE LEVELS 2 & 3 BREEZEWAY SLABS. REFER TO DETAIL10/301.
- 20. PROVIDE SCARF JOINT IN BATTEN BOARD TRIM TO ALIGN WITH BOTTOM OF GAP AT PANELS.
- 21. PROVIDE SCARF JOINT IN TRIM BLOCK IF REQUIRED TO FIT AROUND PENETRATIONS IN WALL.
- 22. PROVIDE 1/8" MIN. GAP BETWEEN SIDING PANEL AND EDGE OF TRIM, AND FILL JOINT WITH SEALANT TO MATCH SIDING. REFER TO SPECIFICATION SECTION 079200.
- 23. NEW BACKER ROD AND SILICONE SEALANT. REFER TO DETAIL 6/301 AND SPECIFICATION
- SECTION 079200.
- 24. NEW SILICONE SEALANT COVE JOINT BETWEEN BASE OF WALL AND SLAB ON GRADE. REFER TO DETAIL 7/301 AND SPECIFICATION SECTION 079200.
- 25. ALIGN EDGE OF BATTEN BOARD WITH EDGE OF SLAB AND EXTERIOR FACE OF BEAM AT EAVE.

TYP. PENETRATION OR MOUNTING BLOCK

